



Chemung County Planning Board

Chemung County Commerce Center
400 East Church Street
P.O. Box 588
Elmira, New York 14902-0588

(607) 737-5510

www.chemungcountyny.gov
planning@co.chemung.ny.us

Referral Number
For office use only

Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: City Town Village of Elmira Heights

Referring Official: MONTREL STURGES Title: CODE ENFORCEMENT

Address: 215 ELMWOOD AVE.

Phone Number: (607) 735-2410 E-mail: CODE.ELMIRAHEIGHTS@GMAIL.COM

Referring Board (check appropriate box): Legislative Board ZBA Planning Board

Petitioner(s): MSP Development, LLC c/o Mitchol S. Pappan Phone: (724) 630-6448

Petitioner's Mailing Address: PO Box 2280, Cranberry Twp, PA 16066 E-mail: mitchol@mspdevelopment.com

Location of Property: 2048 College Avenue, Elmira Heights, NY 14903

Tax Map Parcel Number(s): 79.09-6-28

Current Zoning District: C-2 (General Commercial)

Proposed Action: (check all that apply)

- | | |
|--|--|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Subdivision Review |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit | <input type="checkbox"/> Zoning Map Amendment |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium |
| <input type="checkbox"/> Other (please specify): _____ | |

Description of the proposed action (attach detailed narrative if available):

Demolition of an existing diner and parking lot, and the construction of a new Dollar General Store with 47 parking spaces, loading zone and dumpster enclosure, utility and storm sewer conveyance.

The proposed action applies to real property within five hundred feet (500') of the following

(Please identify each item by filling in the appropriate blank after each item)

- (a) Boundary of the (City), (Village) or (Town) of: _____
- (b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): _____
- (c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): State Route 14 _____
- (d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: _____
- (e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: _____
- (f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: _____

Hearings/Meetings Schedule

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission		
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) _____

“Full Statement” Checklist

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

For All Actions:

- _____ Chemung County Planning Board – Municipal Referral Form
- _____ All application materials required by local law/ordinance to be considered a “complete application” at the local level (PDF preferred).
- _____ Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- _____ Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- _____ Municipal board meeting minutes on the proposed action (PDF preferred).

For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND

- _____ Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- _____ Zoning Map
- _____ Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.

Permit #: _____

VILLAGE OF ELMIRA HEIGHTS APPLICATION FOR BUILDING PERMIT

Civic Administration Building, 215 Elmwood Ave., Elmira Heights, NY 14903

PROPERTY INFORMATION

Tax Map #: 79.09-6-28

<input type="checkbox"/> R-1	<input type="checkbox"/> R-2	<input type="checkbox"/> R-3
<input type="checkbox"/> C-1	<input checked="" type="checkbox"/> C-2	<input type="checkbox"/> I-1
		<input type="checkbox"/> I-2

Owner's Name: VR Group, LLC
 Address: 920 Almshouse Rd
 City: Ivyland, PA 18974
 Home Phone: 866-463-8104 Work Phone: _____

Permit Address: 2048 College Avenue, Elmira Heights
 Town: Elmira Horseheads
 Cell: _____

Is the proposed project in a flood plain? Yes, give Zone: _____ No
 Is the proposed project allowed in Zoning District? Yes No, See Below

TYPE OF PERMIT REQUESTED

Solid Fuel Equip/Chimney

<input type="checkbox"/> Alter/Addition	<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Electric/Plumbing
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Shed	<input type="checkbox"/> Swimming Pool
<input type="checkbox"/> Sign Installation	<input type="checkbox"/> Roofing	
Special Permit for: _____		
Change of Occupancy - From: _____ To: _____		

Permit Fee: _____

PROJECT INFORMATION

Lot Size: 375' Ft. x 142' Ft.; Required Setbacks:
 Dimensions of project: Width: 80' Length: 156' Front: 25'
 Height: 21' Total Sq. Ft.: 12,480 Side: 10'
 Estimated Cost: \$ _____ Back: 25'

Description of Work to be Done: Demolition of existing diner and parking lot. Construction of new 12,480 sf Dollar General Store with 47 space parking lot, concrete loading zone and dumpster enclosure.

Construction Classification: IIB Occupancy Classification: Mercantile Proposed Use: Retail

CONTRACTOR'S INFORMATION

Name & Address Phone
 1. MSP Development, LLC c/o Mitchol S. Pappan WC Liability CE 200 (724) 630-6448
PO Box 2280, Cranberry Twp, PA 16066

For additional contractors, please list on back

DOCUMENTATION:	<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Building Plan	<input type="checkbox"/> Demolition Insp. Done	<input type="checkbox"/> Equipment Documents Submitted
INSPECTIONS REQUIRED:	<input type="checkbox"/> Energy Code	<input type="checkbox"/> Solid Fuel Equipment / Chimneys before enclosing		
<input checked="" type="checkbox"/> Footers	<input checked="" type="checkbox"/> Rough Framing	<input checked="" type="checkbox"/> Rough Electric	<input checked="" type="checkbox"/> Rough Plumbing	<input checked="" type="checkbox"/> Insulation
<input checked="" type="checkbox"/> Foundation	<input type="checkbox"/> Final Project	<input checked="" type="checkbox"/> Final Electric	<input checked="" type="checkbox"/> Final Plumbing	<input checked="" type="checkbox"/> Site before construction begins
<input type="checkbox"/> Holes	Other: _____			

CHANGES IN PLANS DURING CONSTRUCTION MUST BE APPROVED BY THE CODE ENFORCEMENT OFFICER. VIOLATIONS MAY RESULT IN A STOP WORK ORDER.

IT IS YOUR RESPONSIBILITY TO CALL FOR INSPECTIONS. FAILURE TO CALL MAY RESULT IN DISMANTLING SO INSPECTION CAN BE DONE. ELECTRICAL INSPECTIONS MUST BE DONE BY A CERTIFIED INSPECTION AGENCY AND IS SUBJECT TO CODE ENFORCEMENT APPROVAL.

CERTIFICATION:

I hereby certify that the information contained herein and submitted to the Office of Code Enforcement is true and correct. I further certify that I have read the entire APPLICATION FOR BUILDING PERMIT and understand the questions asked. All provisions of the New York State Uniform Fire Prevention & Building Code and Elmira Heights Village Code will be complied with whether specified herein or in accompanying documents or not. The granting of a permit does not presume to give authority to violate or cancel provisions of any state or local law regulating construction or the performance of construction. Furthermore, the applicant is responsible for compliance with any and all state and local laws pertaining to the operation of the above construction.

Any building official, upon showing proper credentials and in the discharge of their duties may enter upon any building, structure, or premise at any reasonable hour and no person shall interfere with or prevent such entry. I FURTHER UNDERSTAND AND AGREE THAT THE PREMISES WILL NOT BE OCCUPIED UNTIL THE REQUIRED CERTIFICATE OF OCCUPANCY OR COMPLIANCE HAS BEEN ISSUED.

Owner/Authorized Agent: [Signature] Date: 7/8/24 Date Received: _____
 Permit Denied (See Attachment) Permit Denied (Variance Required, See Attachment) Permit Approved
 Code Enforcement Officer: _____ Date: _____



VILLAGE OF ELMIRA HEIGHTS

BUILDING PERMIT CHECKLIST

Check the applicable boxes

CONSTRUCTION DOCUMENTATION

- Projects under \$20,000.00 and/or 1,500 square feet of "Usable Space".
- Projects over \$20,000.00 and/or 1,500 square feet of "Usable Space".
 - Requires original "Wet" Stamped drawings/plans by either of the following NYS licensed: PE (Professional Engineering) or Architect.
- ALL plans must be in triplicate (three sets) and show: Drawings (elevation and footprint) w/ dimensions, materials list, truss stamps, compliance to the NYS Energy Code for "Conditioned Space". Compliance forms are available on the NYS DOS website.
- Exceptions: Pools, spas, hot tubs, furnaces, boilers, pellet and gas fireplaces/stoves, electrical panels REQUIRE manufacturers specifications found in the literature-one copy is sufficient.
- Site Plan.

INSURANCE

- Contractors:
A XE-200 Proof of Workers Compensation OR Proof of a CE-200 Exemption Certificate Waiver of Workers Compensation – Notarized
Liability Insurance – Naming the Village of Elmira Heights "Additionally Insured".
- Property Owner:
NY.Gov ID number to obtain a CE-200 Exemption Certificate

MISCELLANEOUS

- Proof of ownership of the property.
- Permit from Chemung County Health Department REQUIRED for new residence or bedroom/bathroom addition.
- Completed and signed permit application.
- Any required conditional use, special use or variance permits.
- Request for variance application completed along with fee.
- Short form SEQR complete.

EXPECTATIONS

Permit application packet MUST be reviewed and checked with NYS Uniform Building Codes in addition to Local Zoning Ordinances.

- Simple Plans: i.e. decks, garages, porches, stoops, pools, additions to take up to two days.
- Complex Plans: i.e. House plans, intricate plans, and multi-level decks to take up to two weeks.
- Commercial Buildings: Any – may require third party review and inspections.
Inspections require a 24 hour notice due to scheduling and allocation of time.

Failure to pull required Building Permit(s) and/or having required inspections validated are a violation and susceptible to penalties, citations with fines including possible imprisonment, and



VILLAGE OF ELMIRA HEIGHTS BUILDING PERMIT CHECKLIST

Check the applicable boxes

SITE PLAN REQUIREMENTS

- The title of the drawing, including the name and address of the applicant.
- The North point, scale and date.
- The boundaries of the project, plotted to scale.
- Existing watercourses.
- The location of proposed land uses and their area, in acres, and the location, proposed use and height of all buildings.
- The location of all existing or proposed site improvements, including streets, drains, culverts, retaining walls, fences and easements, whether public or private.
- The location of all parking and truck loading areas with access and egress drives thereto. There shall be adequate parking spaces for each professional and his or her clientele, plus staff. Adequate off-street parking (see § 245-113) will be of significant consideration for site plan approval.
- Description of the sewage disposal and water systems and the location of such facilities.
- The location, design and size of all signs and outdoor lighting facilities.
- The location and proposed development of buffer areas and other landscaping.
- Existing vegetation.
- Existing and proposed contours at intervals of not more than two feet of elevation.
- Delineation of the various residential areas, if applicable, indicating for each such area its general extent, size and composition in terms of total number of dwelling unit types, a general description of the intended structure and a calculation of the residential density, in dwelling units per gross acre, for each such area.
- When applicable, a general description of the provision of other community facilities, such as schools, fire protection services and cultural facilities, if any, and some indication of how these needs are proposed to be accommodated.

In addition, the following documentation shall accompany the preliminary site plan:

- Evidence of how the developer's particular proposal or mix of land uses meets existing community needs.
- Evidence that the proposal is compatible with the goals of the Comprehensive Plan of the Village.
- If the development is to be staged, a general indication of how the staging is to proceed. Whether or not the development is to be staged, the preliminary plan shall show the intended total project. Any project that requires more than 24 months to complete shall be staged. The Planning Board and/or Board of Trustees may require such additional information as appears necessary for a complete assessment of the project.



VILLAGE OF ELMIRA HEIGHTS

BUILDING PERMIT CHECKLIST

CLIMATIC/GEOGRAPHIC DESIGN CRITERIA

Seismic Design Category	C
Weathering	Severe
Winter Design Temperature	-2° F
Heating Degree Days	6845
Termite	Moderate to Severe
Decay	Slight to Moderate
Frost Line	42 inches
Wind Speed	90 MPH
Ground Snow Loading	45 lbs. per square foot
Ice & Water Shield Underlayment	Required 2 feet inside interior wall from eaves edge.

APPROVED ELECTRICAL INSPECTORS

AGENCY	INSPECTOR'S NAME	ADDRESS	TELEPHONE
Commonwealth Electrical Inspection Service, Inc.	Fred Fitch	PO Box 511 Montour Falls, NY 14865	607-535-7330
	Robert Brucie	PO Box 1417 Coming, NY 14830	607-962-0991
Atlantic Inland of New York	David Little	5683 Mail Route Rd Savona, NY 14879	607-583-2594
	Edward Hall	3452 NYS Rte 54A Branchport, NY 14418	315-595-2527

Board of Trustees meeting: _____

Approval: _____

Planning Board meeting: _____

Approval: _____

Zoning Board meeting: _____

Approval: _____

Village of Elmira Heights: _____

Approval: _____

Chemung County Planning: _____

Approval: _____

BUILDING PERMITS

ATTENTION ALL HOMEOWNERS &
BUSINESSES PERFORMING BUILDING
PERMIT AND ZONING PERMIT WORK.

BEFORE SUBMITTING AN APPLICATION

NEW YORK DEPT. OF STATE **REQUIRES**

A **CE-200 FORM** OBTAINED ONLINE @

BUSINESSEXPRESS.NY.GOV. THE BP-1

FORM IS NO LONGER ACCEPTED BY THE

NYS WORKERS COMPENSATION & DEPT.

OF LABOR.

THANK YOU

ELMIRA HEIGHTS CODE ENFORCEMENT

Get a My NY.Gov ID

Securely sign in to my NY.gov online services with a My NY.gov ID.



AVERAGE TIME OF TRANSACTION Less than 5 MINUTES

NY.GOV ID (NY.GOV ID)

Overview

NY.gov ID is an online service that enables citizens, state and local government employees, businesses, and others to access NY.gov ID participating government online services.

Benefits

With an NY.gov ID you don't need to enroll for a separate Login ID and password at each new site you visit.

Simply use your NY.gov ID Login ID and password to sign into New York State services such as:

- Department of Labor Unemployment Insurance
- Office of Temporary and Disability Assistance MyBenefits
- Department of Motor Vehicles MyDMV
- Department of Tax and Finance Tax Online Services

- New York State Office of Higher Education TEACH Services.

Eligibility

Who can obtain an NY.Gov ID account?

Anyone.

Does it cost anything?

No, it's free.

What do I need to create the account?

A valid email address.

Do NY.Gov accounts expire?

Accounts do not expire. However, if the account has been inactive for over two years, a password change is required upon that attempt to use the inactive account.

How To

Refer to this step-by-step process to set up an account:


1. Go to my.ny.gov (<https://my.ny.gov/>)
2. Click the "Don't have an account?" button
3. Select account type: "Personal," "Government Employee," or "Business"
4. Click on "Sign Up for an NY.gov ID"
5. Fill out first name, last name and email address
6. Create a username
7. Create account
8. Verify that your information is correct
9. You will receive an automatic email to verify your account
10. Click on the verification in the email
11. Set your password
12. Select three security questions
13. Hit submit and your account is active

Sign Up


Sign up here to create your NY.Gov account:

[SIGN UP \(HTTPS://NY.GOV/SIGN-UP\)](https://ny.gov/sign-up)

Contact

 **Contact us by phone:**

[1-844-891-1786](tel:18448911786)

 **Contact us by mail:**

NYS Office of Information Technology
Services
State Capitol Empire State
Plaza P.O. Box 2062
Albany, NY 12220

 **FACEBOOK**

 **TWITTER**

[\(\[HTTPS://WWW.FACEBOOK.COM/NYS/OFFICIALS/COM/NYSITS\]\(https://www.facebook.com/nys/officials/com/nysits\)\)](https://www.facebook.com/nys/officials/com/nysits)

اردو

Translate

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

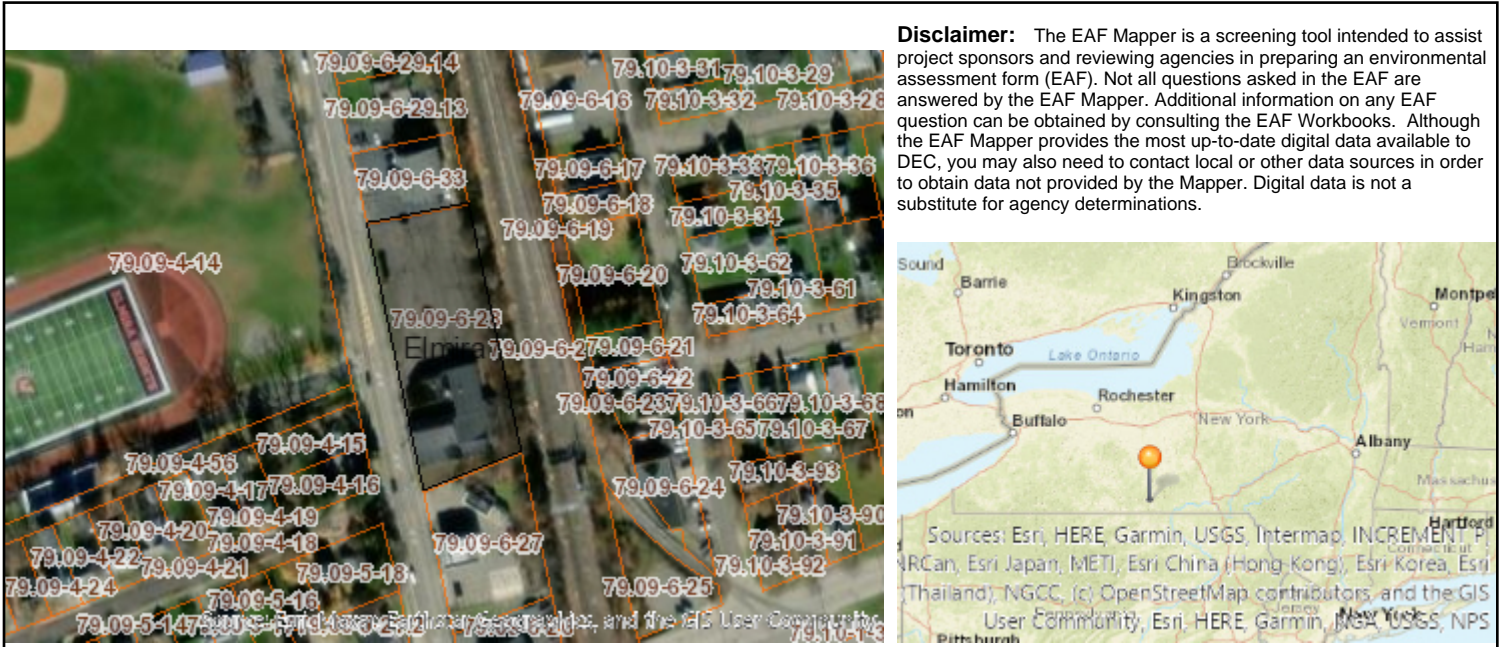
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature _____ Title _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Major Basins:Upper Susquehanna
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00075
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

Larson Design Group

LAND DEVELOPMENT PLANS

DOLLAR GENERAL STORE

2048 COLLEGE AVENUE, ELMIRA HEIGHTS, NY 14903

13459-014

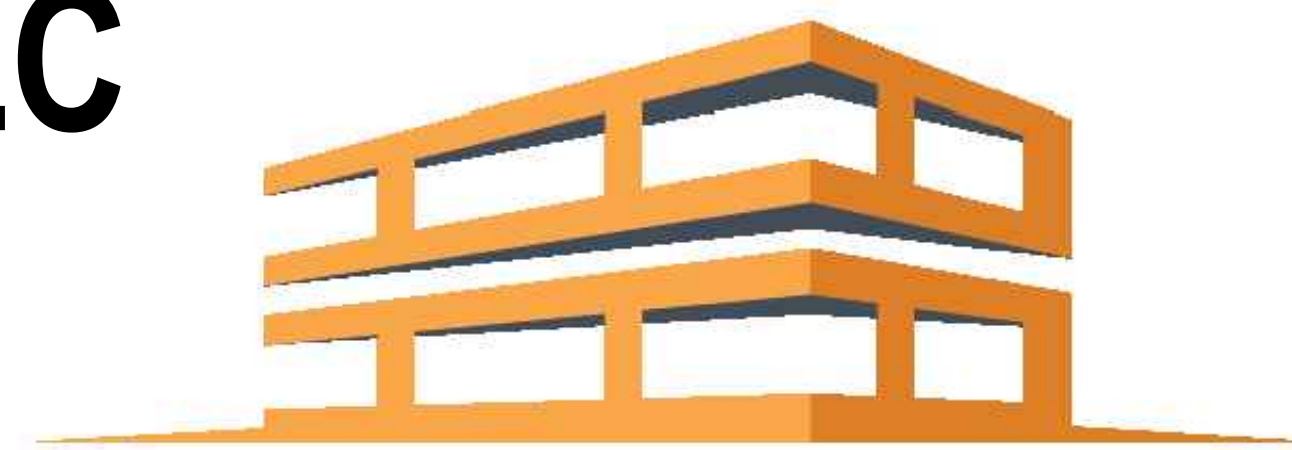
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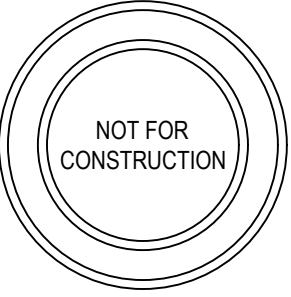
MSP DEVELOPMENT, LLC

2009 MACKENZIE WAY, SUITE 100

CRANBERRY TWP, PA 16066



Larson Design Group
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603



SEAL

SHEET INDEX

C-000	COVER SHEET
C-001	GENERAL INFORMATION
C-002	GENERAL NOTES
1 OF 1	ALTA PLAN
C-101	LOT PLAN
C-102	DEMOLITION PLAN
C-201	SITE LAYOUT PLAN
C-202	GRADING PLAN
C-203	UTILITY PLAN
C-204	PROFILES
C-301	SITE DETAILS
C-302	SITE DETAILS
C-303	SITE DETAILS
C-304	UTILITY DETAILS
C-401	ESC PLAN
C-402	ESC DETAILS

MARK	DATE	COMMENTS
0	2024-06-26	INITIAL MUNICIPAL PERMIT SUBMISSION

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

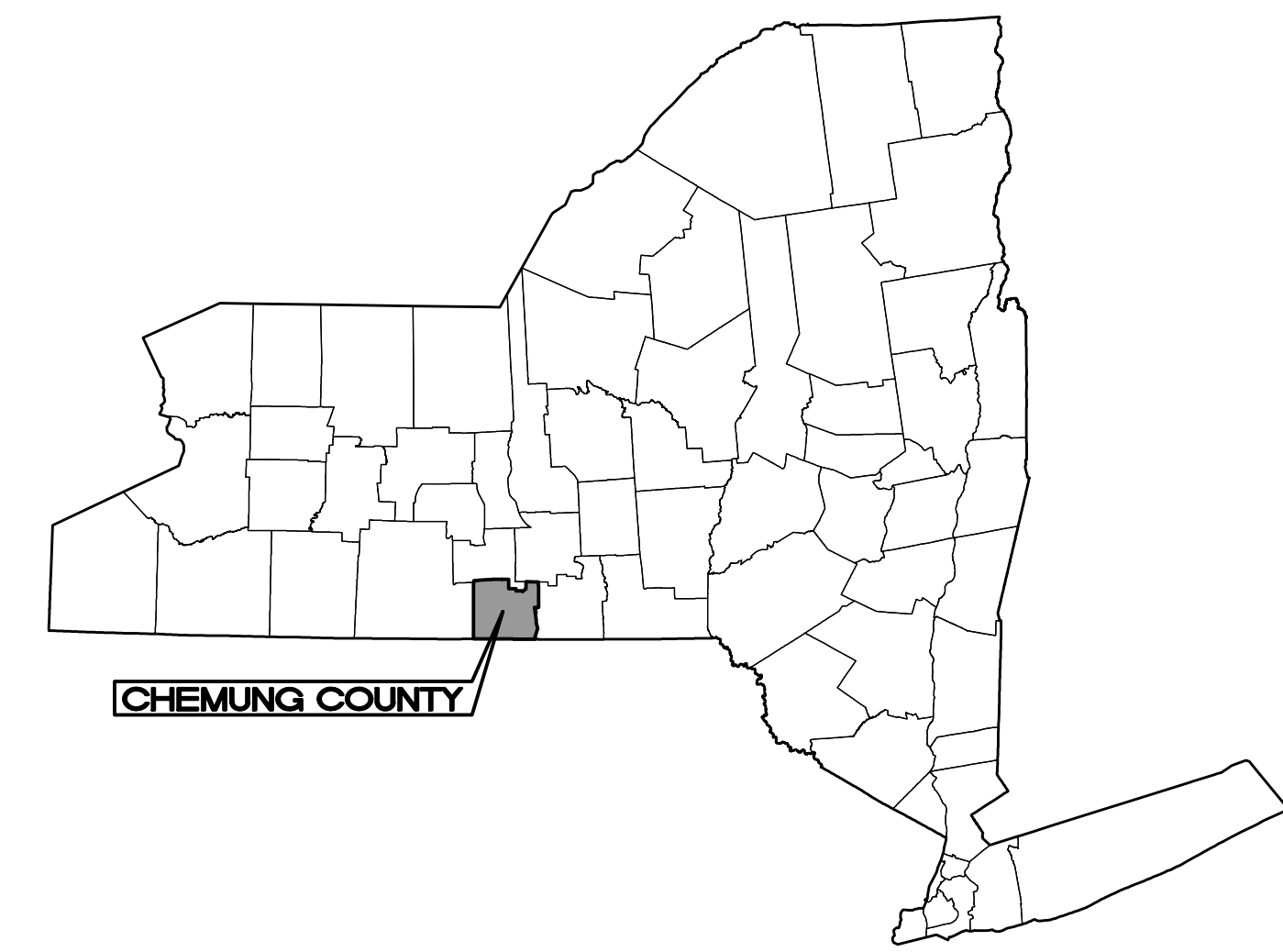
DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

COVER SHEET
LAND DEVELOPMENT PLANS

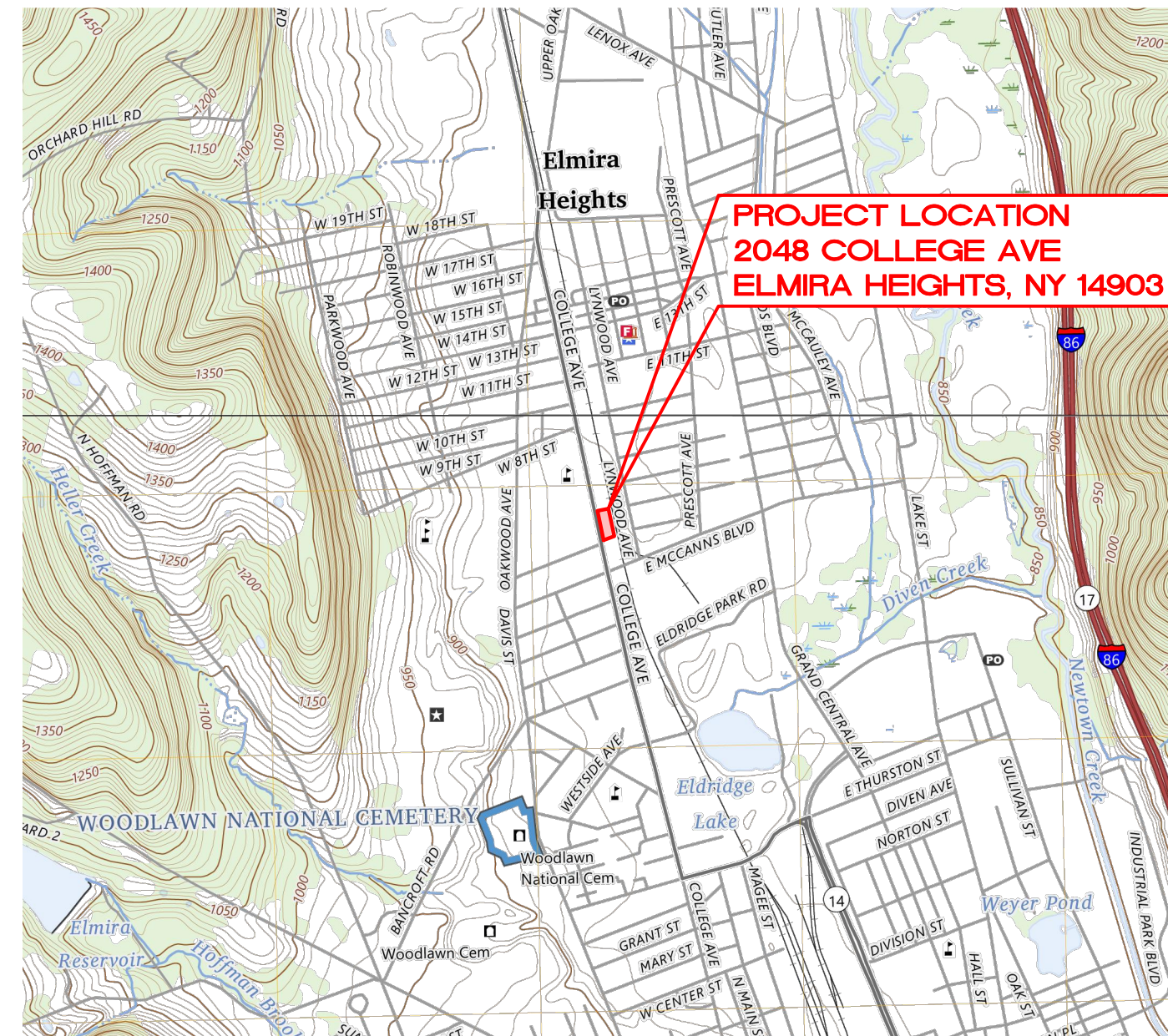
Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-001

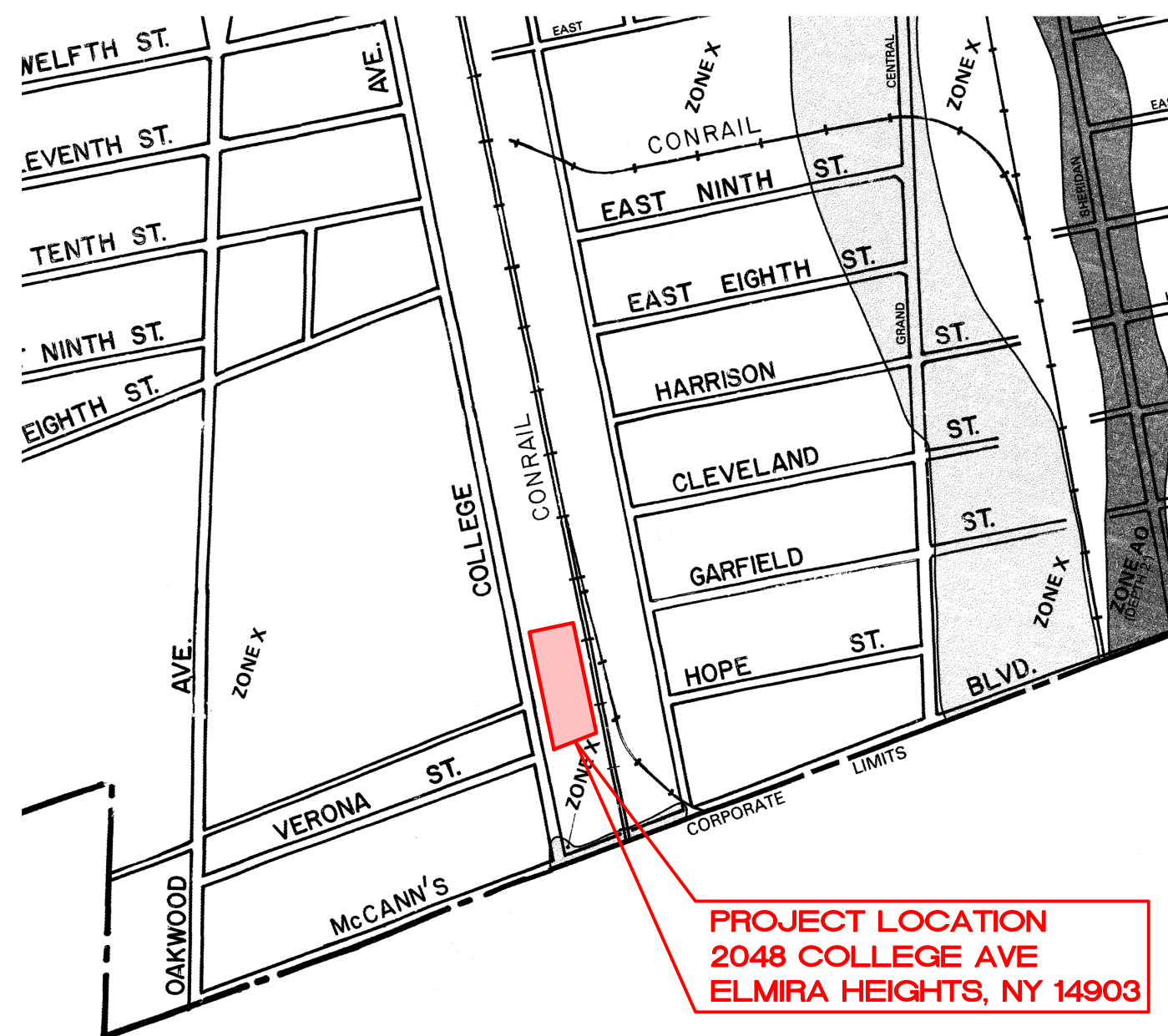
NOT FOR CONSTRUCTION



NEW YORK STATE MAP
MAP SCALE: NOT TO SCALE



USGS QUADRANGLE MAP
MAP NAME: ELMIRA & HORSEHEADS (NY)
MAP SCALE: 1"=2000'



FEMA FIRM MAP
MAP NUMBER: 3601520001B
MAP SCALE: 1"=500'

PROJECT INFORMATION	
OWNER	VR GROUP, LLC 920 ALMSHOUSE RD IVYLAND, PA 18974 ATTN: BILL MANOS
DEVELOPER	MSP DEVELOPMENT, INC 2009 MACKENZIE WAY, SUITE 100 CRANBERRY TWP, PA 16066 MITCHOL S PAPPAN (724) 630-6448
ENGINEER	LARSON DESIGN GROUP 1000 COMMERCE PARK DRIVE, SUITE 201 WILLIAMSPORT, PA 17701 CONTACT: COLEMAN GREGORY 570-244-2068 CCGREGORY@LARSONDESIGNGROUP.COM
SURVEYOR	LARSON DESIGN GROUP 1000 COMMERCE PARK DRIVE, SUITE 201 WILLIAMSPORT, PA 17701 CONTACT: CHRIS IACHINI 570-337-3814 CIACHINI@LARSONDESIGNGROUP.COM
PARCEL IDENTIFICATION NO.	79.09-6-28
COUNTY	CHEMUNG
MUNICIPALITY	VILLAGE OF ELMIRA HEIGHTS
SITE ADDRESS	2048 COLLEGE AVE, ELMIRA HEIGHTS, NY 14903
EXISTING USE	EXISTING VACANT MANOS DINER
ADJACENT USES	NORTH: COMMERCIAL SOUTH: COMMERCIAL EAST: RAILROAD WEST: RESIDENTIAL
PROPERTY AREA (ACRES)	1.203
INTENDED USE	THE PURPOSE OF THIS PROJECT CONSISTS OF THE DEMOLITION ONE EXISTING SINGLE-STORY STRUCTURE AND CONSTRUCT A 12,480 SQUARE-FOOT COMMERCIAL RETAIL STORE, ALONG WITH PARKING AND OTHER AMENITIES. THE CONSTRUCTION PROCESS TAKING PLACE WILL INCLUDE GRADING, PAVEMENT INSTALLATIONS, LANDSCAPING, STORMWATER MANAGEMENT, AND MUNICIPAL CONSTRUCTION ACTIVITIES.
MAX. IMPERVIOUS AREA (SF)	N/A
ZONING INFORMATION	
EXISTING ZONING	C-2 GENERAL COMMERCIAL
ADJACENT ZONING	NORTH: C-2 GENERAL COMMERCIAL SOUTH: C-2 GENERAL COMMERCIAL EAST: R-2 RESIDENTIAL WEST: R-2 RESIDENTIAL
PARKING REQ'D/PROVIDED	42 REQ'D / 47 PROVIDED
ADA PARKING REQ'D/PROVIDED	2 REQ'D PER ADA CODE / 2 PROVIDED
LOADING AREA REQ'D/PROVIDED	400 SQ.FT. / 33.5'x16' = 536 SQ.FT.
MAX BUILDING HEIGHT	35 FT.
BUILDING SETBACKS	FRONT: 25' REAR: 25' SIDES: 10'



NOTICE:

- LDG ADVISES IT HAS REQUESTED LINE AND UTILITY INFORMATION FROM THE UDIGNY SYSTEM.
UDIGNY SERIAL NUMBER: **05134-000-963** DATE: **05/13/2024**
- THE FACILITIES SHOWN ON THESE PLANS ARE SHOWN BASED ON INFORMATION GATHERED USING SUBSURFACE UTILITY ENGINEERING QUALITY LEVEL: **C**

SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS INCLUDE:
LEVEL D - UTILITY RECORDS RESEARCH AND INTERVIEWS WITH KNOWLEDGEABLE UTILITY PERSONNEL;
LEVEL C - SURFACE SURVEYS TO IDENTIFY AND RECORD ABOVE GROUND FEATURES OF SUBSURFACE UTILITIES; LEVEL B - APPLICATION OF GEOPHYSICAL METHODS TO GATHER AND RECORD APPROXIMATE HORIZONTAL AND VERTICAL POSITIONAL DATA; AND
LEVEL A - EXPOSURE OF LINES VIA VACUUM EXCAVATION TO PROVIDE PRECISE HORIZONTAL AND VERTICAL POSITIONAL DATA.
- THE FOLLOWING FACILITY OWNERS HAVE INDICATED THROUGH UDIGNY THAT THEY HAVE LINES IN THE PROJECT AREA:

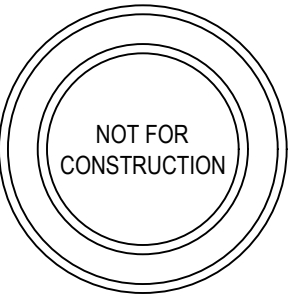
UTILITY: SANITARY SEWER COMPANY: CHEMUNG COUNTY SEWER DIST 1 CONTACT: MIKE EVANS PHONE: (607) 737-6223	UTILITY: GAS COMPANY: NYSEG ELMIRA GAS CONTACT: USIC LOCATING PHONE: (800) 262-8600
UTILITY: WATER COMPANY: ELMIRA WATER BOARD CONTACT: KENNETH BARONE PHONE: (607) 425-2755	UTILITY: CULVERTS/HIGHWAY STORM SEWER COMPANY: TOWN OF ELMIRA CONTACT: MATT MUSTICO PHONE: (607) 734-0199
UTILITY: HIGHWAY/TRAFFIC SIGNALS COMPANY: NYS DOT HORNELL REGION 6 CONTACT: NYS DOT HORNELL REGION 6 VOICE CALLS PHONE: (607) 324-8490	UTILITY: FIBER/TELEPHONE COMPANY: VERIZON SYRACUSE CONTACT: VERIZON NLSR PHONE: (844) 661-0660
- LARSON DESIGN GROUP DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED AS AMENDED AND REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE.

LEGEND

EXISTING FEATURE TEXT	PROPOSED FEATURES TEXT
PROPERTY LINE	---
RIGHT-OF-WAY LINE	----
EASEMENT LINE	----
CONTOUR LINE	---100---
CENTER LINE OF ROAD	----
BUILDING SETBACK	//////
BUILDING LINE	//////
FENCE LINE	-x-
EDGE OF PAVEMENT	----
GRAVEL	----
CONCRETE CURB	----
CONCRETE/SIDEWALK	----
SIGN	+
BENCHMARK	+
DRAINAGE LINE, MANHOLE & CB	MH --- S ---
SANITARY SEWER & MANHOLE	MH --- S ---
WATER MAIN & VALVE	WV --- W ---
SEWER FORCE MAIN	FM --- FM ---
GAS MAIN & VALVE	GV --- G ---
UNDERGROUND ELECTRIC	UE --- E ---
OVERHEAD UTILITIES & POLE	OH --- OH ---
GUIDE RAIL	----



Larson Design Group
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603



SEAL

DATE	MARK	COMMENTS
0	0	INITIAL MUNICIPAL PERMIT SUBMISSION
2024-06-26		

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903
GENERAL INFORMATION
LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-001

LAND DEVELOPMENT NOTES

- 1. EXISTING FEATURES SHOWN ON THIS SITE PLAN WERE TAKEN FROM A SURVEY PREPARED BY LARSON DESIGN GROUP, DATED JANUARY 25, 2024. SEVERAL BENCHMARKS HAVE BEEN SET FOR THIS PROJECT BASED ON GPS OBSERVATION AND BASED ON NAVD 1988:
• BM#51 - A "X" CHISELED ON TO FIRE HYDRANT BOLT WITH AN ELEVATION OF 870.61'
• BM#52 - A 6" SPIKE IN A UTILITY POLE WITH AN ELEVATION OF 871.30'
2. THERE ARE NO NAVIGABLE STREAMS WITHIN THE PROJECT LIMITS.
3. THE CIVIL PERMITTING PLAN SET MAY NOT BE SUITABLE FOR CONSTRUCTION WITHOUT ADDITIONAL SUPPLEMENTARY INFORMATION INCLUDING TECHNICAL SPECIFICATIONS, CONTRACT DOCUMENTS, DETAILS, OR OTHER RELATED DOCUMENTS COMPRISED TO FORM A COMPLETE BIDDING AND CONSTRUCTION DOCUMENTS SET. THE CONTRACTOR SHOULD VERIFY THE AVAILABILITY OF THIS INFORMATION WITH THE OWNER PRIOR TO BID AND START OF CONSTRUCTION.
4. ALL PROPOSED STORMWATER MANAGEMENT IMPROVEMENTS AND EXISTING STORMWATER MANAGEMENT IMPROVEMENTS TO REMAIN SHALL BE OWNED AND PERMANENTLY MAINTAINED BY OWNER AND CANNOT BE ALTERED OR CHANGED IN ANY WAY WITHOUT PRIOR APPROVAL FROM THE MUNICIPAL REGULATORY AUTHORITY HAVING JURISDICTION.
5. ALL AREAS WHICH ARE DISTURBED BY CONSTRUCTION AND ARE NOT TO BE PAVED SHALL BE RESTORED WITH A MINIMUM SIX (6) INCHES OF TOPSOIL, SEEDED, AND MULCHED.
6. THE OWNER SHALL PREPARE AND EXECUTE NECESSARY UTILITY EASEMENTS.
7. ALL EXISTING SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS.
8. THE APPLICANT SHALL SUBMIT PERMIT APPLICATIONS FOR SIGNAGE DEPICTED ON THE APPROVED PLAN.

DEMOLITION NOTES

- 1. DEMOLITION INCLUDES THE FOLLOWING:
A. DEMOLITION AND REMOVAL OF BUILDINGS OR PARTS THEREOF.
B. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS.
C. DISCONNECTING, CAPPING OR SEALING, AND ABANDONING SITE UTILITIES IN PLACE.
D. DISCONNECTING, CAPPING OR SEALING, AND REMOVING SITE UTILITIES.
2. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.
3. REMOVE AND REINSTALL: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE; REINSTALL ITEMS IN LOCATIONS INDICATED.
4. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION. WHEN PERMITTED BY OWNER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
5. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE OWNER INDICATING THE FOLLOWING:
A. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK WITH STARTING AND ENDING DATES.
B. CONTINUATION OF UTILITY SERVICES.
C. IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.
6. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA OR DEP NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
7. ASBESTOS: IT IS NOT EXPECTED THAT ASBESTOS WILL BE ENCOUNTERED IN THE COURSE OF THIS CONTRACT. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER.
8. ON-SITE STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS WILL NOT BE PERMITTED.
9. OBTAIN APPROVED BORROW SOIL MATERIALS FROM OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE. CONTRACTOR IS RESPONSIBLE FOR PERMITTING OF ALL OFF-SITE BORROW AND WASTE AREAS.
10. SURVEY THE CONDITION OF THE BUILDING OR OTHER STRUCTURE TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
11. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE NEW YORK ONE CALL SYSTEM BY CALLING 811 NO LESS THAN THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK AS REQUIRED BY LAW. STOP-CALL BEFORE YOU DIG!
12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE OWNER AND AUTHORITIES HAVING JURISDICTION.
B. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES.
12. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING STRUCTURES TO BE DEMOLISHED.
A. ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL POLICIES.
13. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
14. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
A. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
15. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
A. ERECT TEMPORARY PROTECTION AND/OR BARRICADES AS PER PLAN.
B. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN.
16. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED.
17. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
18. CLEAN ADJACENT BUILDINGS AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS EXISTING BEFORE START OF DEMOLITION.
19. BUILDING DEMOLITION: DEMOLISH BUILDINGS COMPLETELY AND REMOVE FROM THE SITE. USE METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
A. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
B. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.
C. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
D. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION.
E. BREAK UP AND REMOVE CONCRETE SLABS ON GRADE.
F. REMOVE AIR CONDITIONING EQUIPMENT WITHOUT RELEASING REFRIGERANTS.
20. BELOW-GRADE CONSTRUCTION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW-GRADE CONSTRUCTION AS FOLLOWS:
A. COMPLETELY REMOVE BELOW-GRADE CONSTRUCTION INCLUDING FOUNDATION WALLS, FOOTINGS, AND BELOW GRADE CONCRETE SLABS.
21. FILLING BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF BUILDINGS AND PAVEMENTS WITH SOIL MATERIALS ACCORDING TO REQUIREMENTS PER THE GEOTECHNICAL REPORT. CONTRACTOR SHALL CONTACT OWNER PRIOR TO FILLING ANY AREAS TO OBSERVE FILL PROCEDURES.
22. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTOR'S COST.
23. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS OFF SITE. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
24. BURNING: DO NOT BURN DEMOLISHED MATERIALS ON-SITE.
25. CONTRACTOR SHALL REMOVE ALL ASPHALT/CONCRETE PAVEMENT, CONCRETE CURB, STRUCTURES, LANDSCAPING, LIGHT POLES, AND FOUNDATIONS, ETC. WITHIN THE PROPERTY LINE OR AS INDICATED ON THE PLANS. CONTRACTOR SHALL REFER TO GRADING PLAN AND UTILITY PLAN PRIOR TO DEMOLITION OPERATIONS.
26. CONTRACTOR SHALL REMOVE ALL EXISTING TREES WITHIN THE PROPERTY BOUNDARY UNLESS OTHERWISE INDICATED.
27. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITIES.

CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, SITE CONDITIONS, OR ANY INCONSISTENCIES OR AMBIGUITIES IN THE DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE PROJECT'S OWNER IN WRITING. THE OWNER SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES, WITHOUT RECEIVING A RESPONSE FROM THE PROJECT'S OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK.
2. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER, IN WRITING, OF ANY SUBSURFACE OR LATENT PHYSICAL CONDITIONS AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS.
3. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SITE/CIVIL IMPROVEMENTS WITH OTHER PRIME CONTRACTOR'S WORK. SEE ARCHITECTURAL, STRUCTURAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REQUIREMENTS.
4. THESE CONTRACT DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THE CONSTRUCTION OF ALL PROPOSED IMPROVEMENTS, COMPLETE AND IN PLACE. CONTRACTOR SHALL CAREFULLY REVIEW ALL DOCUMENTS INCLUDING BUT NOT LIMITED TO THE GENERAL CONDITIONS, AGREEMENT, GENERAL SPECIFICATIONS, TECHNICAL SPECIFICATIONS AND ALL ISSUED CORRECTIVE PLANS, INTERPRETATIONS, AND OTHER DOCUMENTATION ISSUED THROUGHOUT THE LENGTH OF THE CONTRACT.
5. THIS PLAN IS NOT TO BE CONSTRUED AS AN ENVIRONMENTAL AUDIT/ASSESSMENT PLAN. THIS SURVEY MAKES NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED AS TO THE ENVIRONMENTAL CONDITIONS OF THE PREMISES HEREOIN DESCRIBED.
6. THE CONTRACTOR, DURING THE PERFORMANCE OF ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS. THE CONTRACTOR SHALL TAKE ALL SAFETY PRECAUTIONS AS REQUIRED TO PROTECT EMPLOYEES AND OTHER PERSONS FROM INJURY.
7. WHEN ALTERATIONS OF ANY PEDESTRIAN FACILITIES ARE PROPOSED, THE CONTRACTOR SHALL CONSTRUCT ALL PROPOSED PEDESTRIAN FACILITIES ON THESE PLANS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND THE ADA STANDARDS, CURRENT EDITION.
8. THE CONTRACTOR IS NOTIFIED THAT OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) CLEARANCES MUST BE MAINTAINED TO OVERHEAD POWER LINES FROM ANY MATERIALS AND/OR CONSTRUCTION EQUIPMENT. EACH CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO OSHA STANDARDS IN THIS REGARD.
9. OSHA EXCAVATION STANDARDS APPLY TO THIS CONTRACT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE OVERALL SAFETY PROGRAM FOR THE ENTIRE SITE INCLUDING TRENCHES AND STRUCTURES.
10. IF ADJUSTMENTS TO EXISTING UTILITIES ARE REQUIRED AND INDICATED ON THE PLANS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND WORK WITH UTILITY OWNERS FOR THE ADJUSTMENT OR RELOCATION OF UTILITY SURFACE FEATURES, I.E., VALVE BOXES, UTILITY POLES, MANHOLES, ETC. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF CONFLICTING UTILITIES WHICH ARE A RESULT OF THESE IMPROVEMENTS.
11. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE BASED ON LIMITED SURFACE EVIDENCE, THE BEST AVAILABLE INFORMATION RECEIVED FROM THE ENGINEER'S DESIGN ONE-CALL, AND INFORMATION PROVIDED BY THE PROJECT OWNER AND SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR, IN COMPLIANCE WITH THE LAW, IS ALSO RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE PROJECT SITE BEFORE STARTING WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING, AT HIS EXPENSE, ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AS LONG AS THOSE UTILITIES WERE PROPERLY MARKED BY THE UTILITY OWNER(S). THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE NY-ONE CALL SYSTEM AT 800-962-7962 OR 811 NO LESS THAN THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK AS REQUIRED BY LAW. STOP-CALL BEFORE YOU DIG!
12. NOTWITHSTANDING ANY LANGUAGE CONTAINED HEREIN THAT MAY BE CONSTRUED TO THE CONTRARY, IT IS NOT THE PROJECT OWNER'S INTENT TO LIMIT OR WAIVE CONTRACTORS' RIGHTS PURSUANT ANY NEW YORK STATE LAWS, SUCH THAT THE RIGHTS AND PROVISIONS OF GOVERNING 811 UTILITY MARKOUT GOVERN OVER ANY LANGUAGE SET FORTH OR INCORPORATED BY REFERENCE HEREIN.
13. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE APPROVED E&S PLAN. STRIPPING OF VEGETATION, RE-GRADING, OR OTHER WORK, SHALL BE DONE IN A MANNER THAT WILL MINIMIZE EROSION. ANY EROSION AND SEDIMENT POLLUTION CONTROLS THAT ARE DEEMED NECESSARY BY THE LOCAL COUNTY CONSERVATION DISTRICT SHALL BE IMPLEMENTED IMMEDIATELY BY THE CONTRACTOR. WHENEVER SEDIMENTATION IS CAUSED BY STRIPPING VEGETATION, RE-GRADING, OR OTHER DEVELOPMENT, IT SHALL BE THE RESPONSIBILITY OF THE PERSON, CORPORATION OR OTHER ENTITY CAUSING SUCH SEDIMENTATION TO REMOVE IT FROM ALL ADJOINING SURFACES, DRAINAGE SYSTEMS, AND WATERCOURSES AND TO REPAIR ANY DAMAGE. DISTURBED SOILS SHALL BE STABILIZED IMMEDIATELY. TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING CONSTRUCTION. MEASURES NECESSARY FOR DUST CONTROL SHALL BE EXERCISED DURING ALL CONSTRUCTION OPERATIONS.
14. THE DESIGNATION OF EXCESS WASTE DISPOSAL AND CONSTRUCTION STAGING AREAS, WHICH MAY BE REQUIRED BUT ARE NOT NOTED ON THE PLANS, ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL CONSTRUCTION DEBRIS, INCLUDING EXCESS EXCAVATED MATERIAL, ASPHALT, CONCRETE, SCRAP WOOD, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
15. EROSION AND SEDIMENT POLLUTION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEDED, AND MULCHED, AS NECESSARY, TO OBTAIN A DENSE COVER OF GRASS.
16. ALL EXCAVATIONS, INCLUDING TRENCHES, SHALL BE KEPT DRY TO PROTECT THEIR INTEGRITY. IF PUMPING OF AN OPEN TRENCH IS NECESSARY DURING THE COURSE OF CONSTRUCTION, A SEDIMENT FILTER BAG OR OTHER FORM OF FILTERING IS REQUIRED BEFORE DISCHARGING INTO THE STORM SYSTEM.
17. ALL INLETS WITHIN THE PROJECT SITE SHALL BE EQUIPPED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES, UNLESS SPECIFICALLY STATED OTHERWISE, AND BE SET FLUSH WITH THE ADJACENT WEARING COURSE OR FINISHED GRADE.
18. ALL INLETS IN ASPHALT PAVED AREAS SHALL BE EQUIPPED WITH STEEL INLET FRAMES AND GRATES UNLESS SPECIFICALLY STATED OTHERWISE. ALL INLETS IN GRASS OR OTHER NON-ASPHALT PAVED AREAS SHALL BE EQUIPPED WITH PRECAST CONCRETE TOP UNITS AND GRATES.

- 19. CONTRACTOR SHALL ENSURE THAT POSITIVE DRAINAGE ACROSS PAVEMENTS IS PROVIDED AND NO LOW SPOTS OR PUDDLING OCCUR WITHIN THE LIMITS OF WORK UNLESS NATURALLY OCCURRING.
20. ALL TRENCHING SHALL OCCUR AS DESIGNATED IN THIS PLAN SET. THE CONTRACTOR SHALL USE EQUIPMENT APPROPRIATE TO MAINTAIN A MAXIMUM PAVEMENT OPENING. IF THE CONTRACTOR PROPOSES A REVISED TRENCHING METHOD OR ALIGNMENT, ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
21. CONTRACTOR SHALL BACKFILL ALL CURBS AND PAVEMENTS FLUSH WITH TOPSOIL AND SEED/MULCH IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS UNLESS NOTED OTHERWISE.
22. ALL EXISTING SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS.
23. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW CUT ALONG LIMITS OF PROPOSED PAVEMENT REMOVAL BEFORE REMOVAL OPERATIONS BEGIN. THE CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF REMOVED PAVEMENTS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
24. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING MEASURES TO PREVENT DAMAGE TO ALL EXISTING FEATURES (TO REMAIN) WITHIN PROJECT LIMITS AND ALONG ADJACENT PROPERTIES.
25. ALL ASPHALT TO ASPHALT JOINTS, ASPHALT TO CONCRETE JOINTS, AND OTHER JOINTS AT ALL OTHER RIGID FEATURES SUCH AS UTILITY STRUCTURES SHALL BE SEALED. REMOVE EXCESS MATERIAL AT UTILITY STRUCTURES TO ENSURE THAT COVERS AND GRATES WILL STILL BE EASILY REMOVABLE AFTER THE APPLICATION.



Larson Design Group
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603

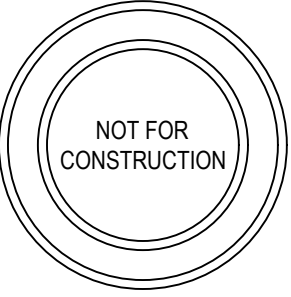


Table with 2 columns: INITIAL MUNICIPAL PERMIT SUBMISSION, DATE. Row 1: 0, 2024-06-26

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

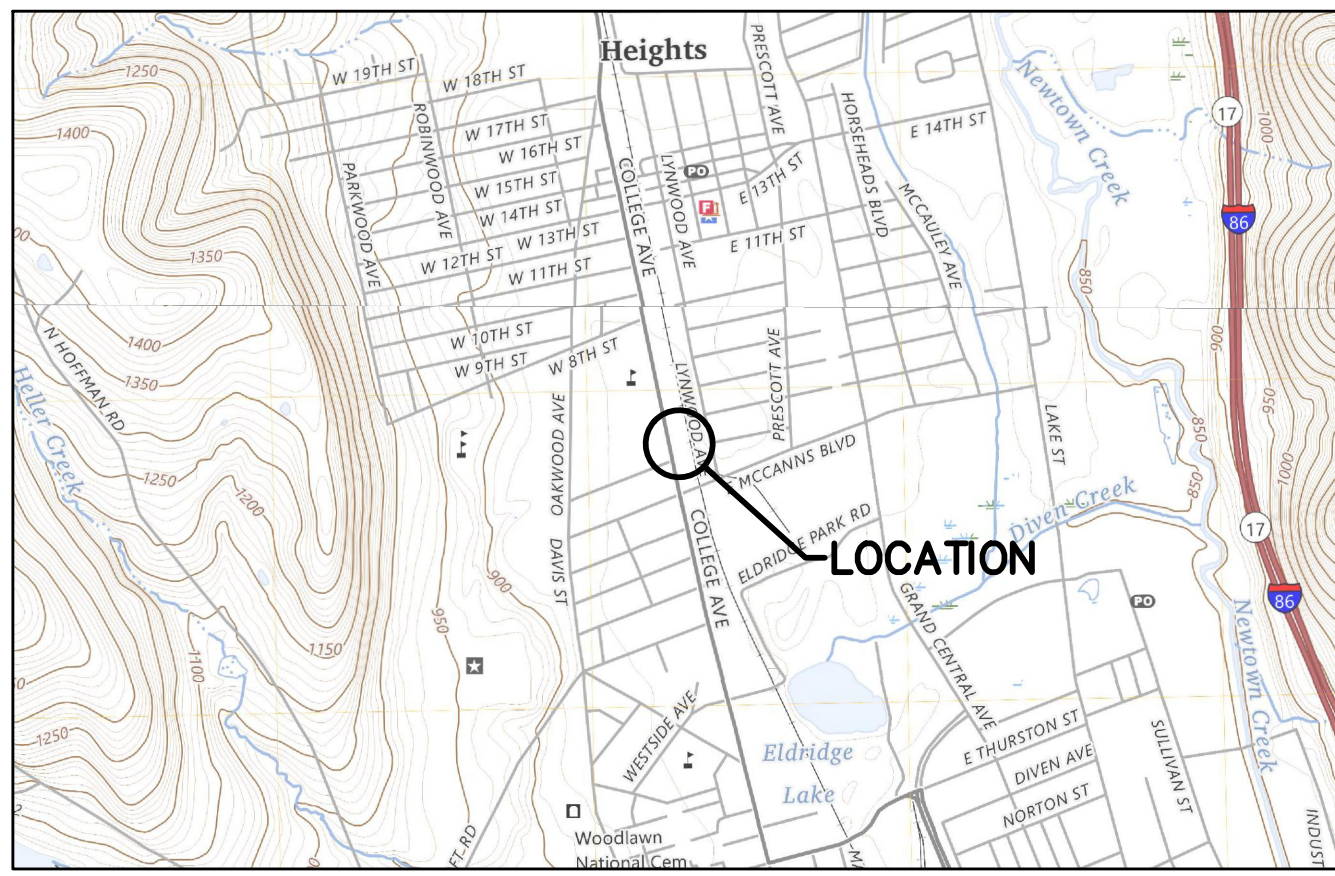
DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903
GENERAL NOTES
LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

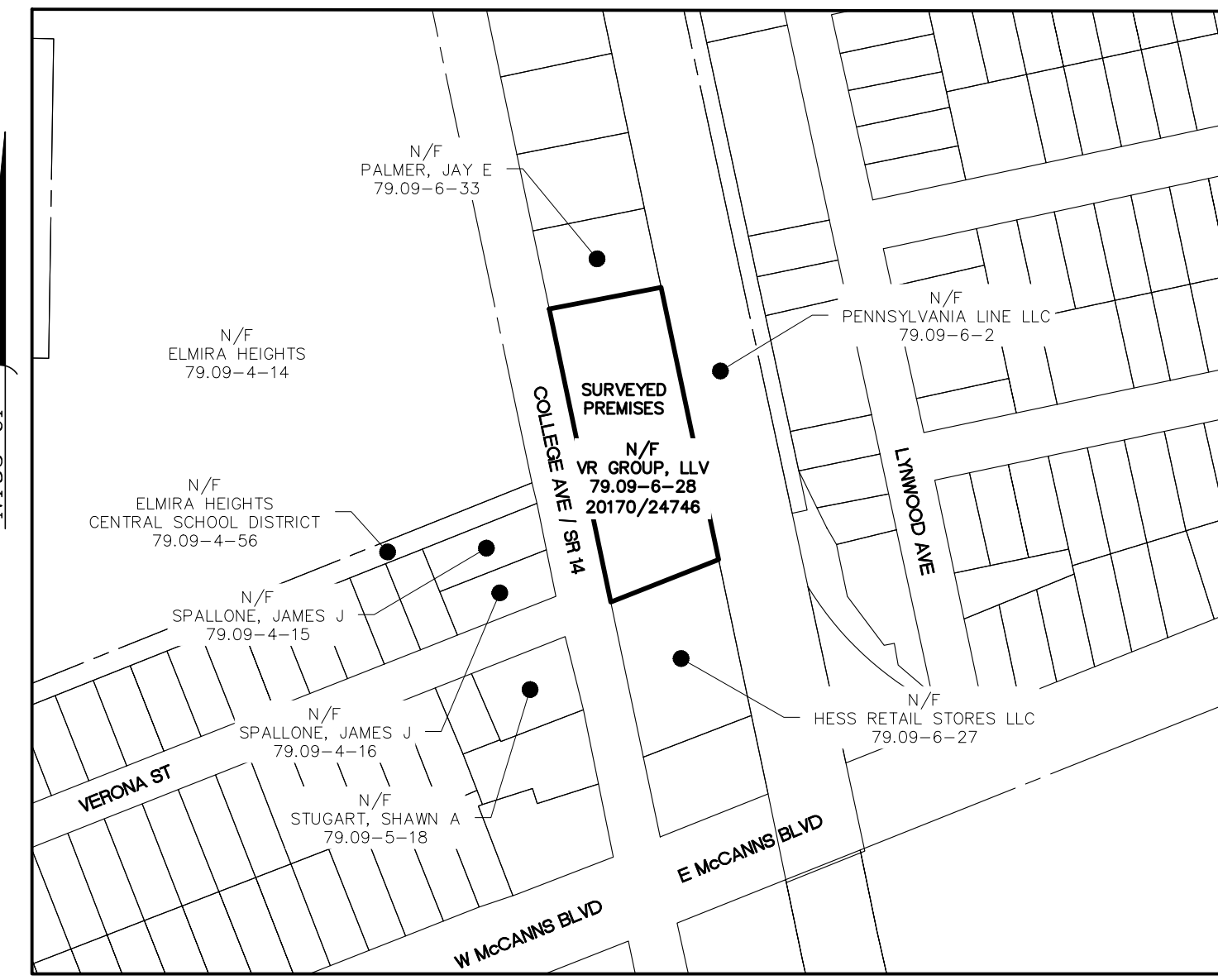
C-002

NOT FOR CONSTRUCTION

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PROJECT LOCATION MAP
HORSEHEAD, PA & ELMIRA, PA USGS QUADRANGLES
SCALE: 1" = 2000'



TRACT MAP
SCALE: 1" = 200'
GIS PARCEL LINES AS SHOWN

SCHEDULE B II EXCEPTIONS
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
TITLE COMMITMENT NUMBER: NY-10962-LTS
EFFECTIVE DATE: 06/08/2023
THE SURVEYED PREMISES IS SUBJECT TO THE FOLLOWING SCHEDULE B, SECTION II EXCEPTIONS:
9. COVENANTS AND RESTRICTIONS SET FORTH IN LIBER 680 CP. 519. - AS SHOWN ON PLAN
10. SEWER EASEMENT SET FORTH IN LIBER 680 CP. 543, AS ASSIGNED IN LIBER 686 CP. 247. - AS SHOWN ON PLAN

SURVEYOR'S CERTIFICATION
TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, MSP PROPERTIES OF NEW YORK LP, AND (LENDER TBD)
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B1, 8, 11A, 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 4, 2023.
DATE: 05/24/2024 SIGNED: *Christopher P. Iachini*
CHRISTOPHER P. IACHINI, PLS REGISTRATION NO. SU061897

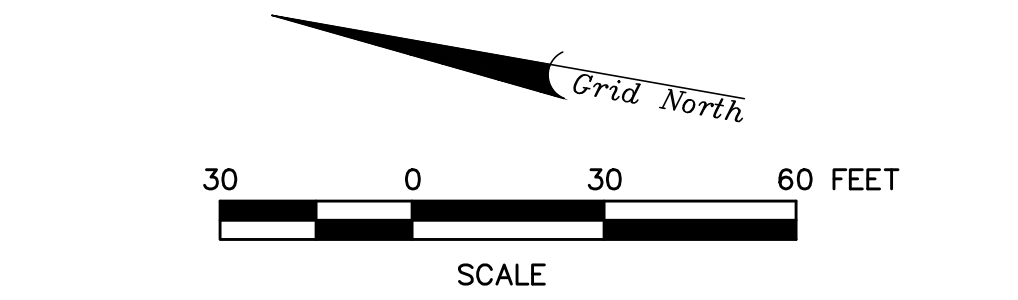
RECORD DESCRIPTION
LANDS OF VR GROUP, LLC
TAX ID NO. 79.09-6-28
ALL THAT TRACT, PIECE OR PARCEL OF LAND, SITUATE IN THE VILLAGE OF ELMIRA HTS. COUNTY OF CHEMUNG, STATE OF NEW YORK, DESCRIBED AS FOLLOWS:
SWIS CODE: 073001
TAX MAP NUMBER: 79.00-6-28
LOCATION: 2048 COLLEGE AVE
APPROXIMATE SIZE: 374 X 142±

THESE PREMISES WERE PREVIOUSLY DESCRIBED AS FOLLOWS:
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERECTED, SITUATE, LYING AND BEING IN THE VILLAGE OF ELMIRA HEIGHTS, TOWN OF ELMIRA, COUNTY OF CHEMUNG AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE EASTERLY LINE OF COLLEGE AVENUE 304.17 FEET NORTHERLY FROM THE NORTHEAST INTERSECTION OF MCCANN'S BOULEVARD AND COLLEGE AVENUE, RUNNING THENCE NORTH 51° 04' 00" WEST ALONG THE EASTERLY LINE OF COLLEGE AVENUE 374.10 FEET, THENCE NORTH 84° 56' 00" EAST 140 FEET TO AN IRON PIN SET IN THE WEST LINE OF LANDS OF CONSOLIDATED RAIL CORPORATION; THENCE SOUTH 5° 04' 00" EAST ALONG THE WEST LINE OF CONSOLIDATED RAIL CORPORATION LANDS 350.46 FEET TO AN IRON PIN; THENCE SOUTH 75° 21' 00" WEST 141.98 FEET TO THE PLACE OF BEGINNING.

AS-SURVEYED DESCRIPTION
ALL THAT CERTAIN PIECE, PARCEL, AND LOT OF LAND SITUATE IN THE VILLAGE OF SOUTH CORNING, CHEMUNG COUNTY, NEW YORK AND SHOWN UPON A PLAN BY THE LARSON DESIGN GROUP, FILE 13459-014, BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE EASTERN RIGHT OF WAY LINE OF COLLEGE AVE (SR-14), SAID POINT BEING THE NORTHWEST CORNER OF LANDS OF HESS RETAIL STORES LLC, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF PARCEL HEREIN DESCRIBED;
THENCE ALONG THE EASTERN RIGHT OF WAY LINE OF SAID COLLEGE AVE, N 11° 57' 23" W, 374.37' TO A POINT AT THE SOUTHWEST CORNER OF LANDS OF JAY E. PALMER;
THENCE ALONG THE SOUTHERN LINE OF LANDS OF SAID PALMER, N 78° 09' 17" E, 140.00' TO POINT ON THE WESTERN LINE OF LANDS OF THE PENNSYLVANIA LINE LLC (RAILROAD);
THENCE ALONG THE WESTERN LINE OF LANDS OF SAID PENNSYLVANIA LINE LLC (RAILROAD), S 11° 57' 23" E, 350.46' TO A POINT AT THE NORTHEAST CORNER OF LANDS OF SAID HESS RETAIL STORES LLC;
THENCE ALONG THE NORTHERN LINE OF LANDS OF SAID HESS RETAIL STORES LLC, S 68° 27' 37" W, 141.98' TO THE POINT AND PLACE OF BEGINNING.
CONTAINING 1.1648 ACRES

ALTA / ACSM NOTES
A. A LAND FIELD SURVEY WAS PERFORMED ON PARCEL TAX ID NUMBER 79.09-6-28, RECORDED IN CHEMUNG COUNTY, NY, DEED BOOK 20170 PAGE 24746 ON FEBRUARY 6, 2024.
B. THE PROPERTY IS LOCATED WITHIN ZONE X PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPPING ACCORDING TO COMMUNITY PANEL NUMBER 3601520001B (EFFECTIVE DATE SEPTEMBER 29, 1996). THE SITE IS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE OF ANNUAL FLOODING.
C. VERTICAL DATUM SHOWN HEREON BASED ON NAVD 88 ESTABLISHED BY GPS.
D. BEARINGS SHOWN HEREON ARE BASED ON GRID NORTH NEW YORK CENTRAL ZONE STATE PLANE NAD83 COORDINATE SYSTEM AS DETERMINED BY GPS.
E. THE "SURVEYED PREMISES" HAS FRONTAGE ALONG SR 14 (COLLEGE AVE.), A PUBLIC STREET.
F. NO WETLANDS HAVE BEEN IDENTIFIED BY NATIONAL WETLAND INVENTORY (NWI) ONLINE MAPPING.

BENCHMARKS
BENCHMARK 51 - "X" CUT ON BOLT OF FIRE HYDRANT OF WEST SIDE OF COLLEGE AVE LOCATED SOUTHWEST OF THE SITE ELEV.: 870.61'
BENCHMARK 52 - 6" SPIKE PLACED IN TELEPHONE POLE 2290-1 ON WEST SIDE OF COLLEGE AVE, ELEV.: 871.30'

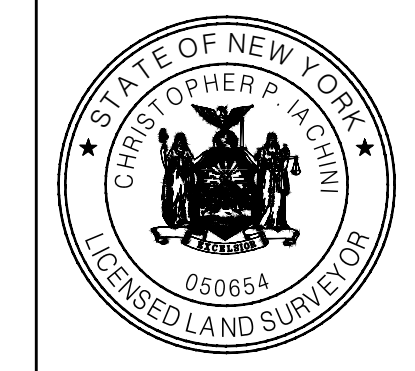
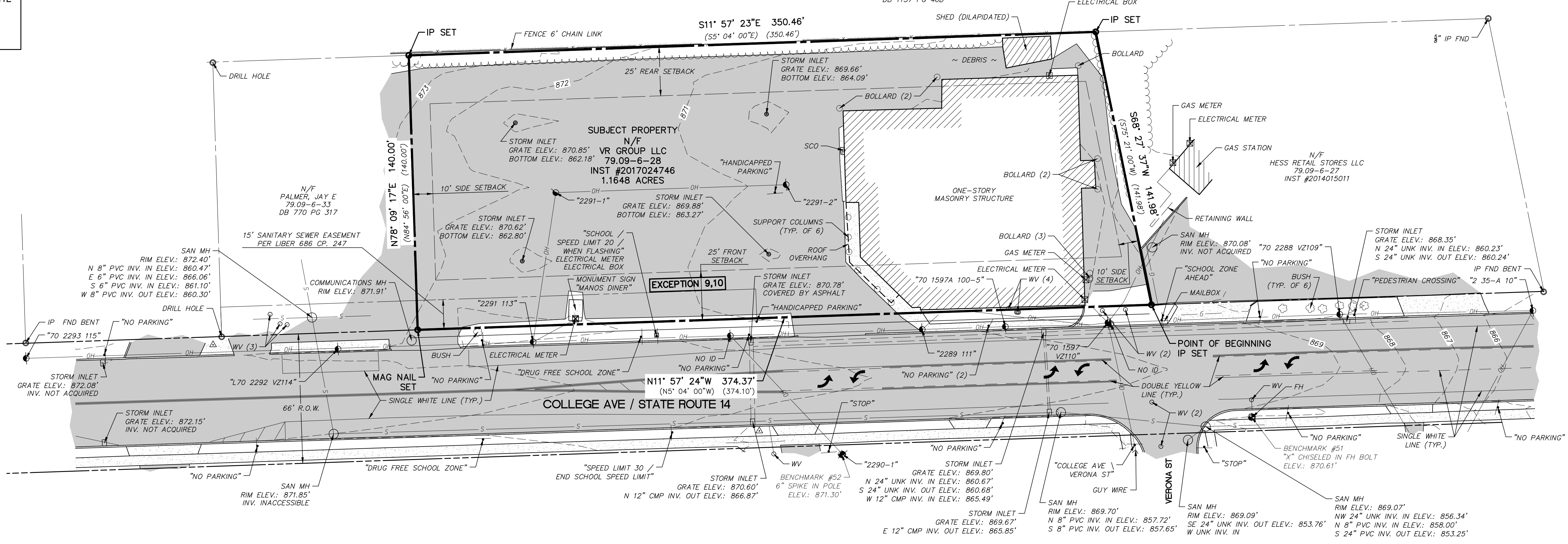


LEGEND

PREMISES LINE	---
RIGHT-OF-WAY LINE	---
EASEMENT LINE	---
CONTOUR LINE	---
PROPERTY LINE	---
BUILDING SETBACK	---
BUILDING LINE	---
FENCE LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL/STONE	---
CONCRETE CURB	---
CONCRETE/SIDEWALK	---
SIGN	---
BENCHMARK	---
DITCH/SWALE	---
DRAINAGE LINE, MANHOLE & CB	---
SANITARY SEWER & MANHOLE	---
WATER MAIN & VALVE	---
SEWER FORCE MAIN	---
GAS MAIN & VALVE	---
UNDERGROUND ELECTRIC	---
UNDERGROUND CABLE TV	---
OVERHEAD UTILITIES & POLE	---
UNDERGROUND TELEPHONE	---
GUIDE RAIL	---
BEARING / DISTANCE PER THIS SURVEY	S11° 11' 59" W 293.73'
RECORD BEARING / DISTANCE	(N9° 36' 32" E) (301.79')
GRAVEL / CRUSHED STONE	---
BITUMINOUS PAVEMENT	---

ZONING REQUIREMENTS
ZONING DISTRICT - GENERAL COMMERCIAL (C-2)
ALL OF THE FOLLOWING REQUIREMENTS HAVE BEEN OBTAINED FROM THE VILLAGE OF ELMIRA HEIGHTS CODE OF ORDINANCES, CHAPTER 220. (UPDATED 2022)

MINIMUM LOT REQUIREMENTS:	
MINIMUM LOT AREA	5,000 SQ. FT.
MINIMUM LOT WIDTH	50 FT.
MINIMUM LOT DEPTH	100 FT.
BUILDING SETBACK REQUIREMENTS:	
FRONT YARD	25 FT.
SIDE YARD	10 FT.
REAR YARD	25 FT.
BUILDING REQUIREMENTS:	
MAXIMUM HEIGHT	35'
MAXIMUM NUMBER OF STORIES	3
MAXIMUM COVERAGE	60%



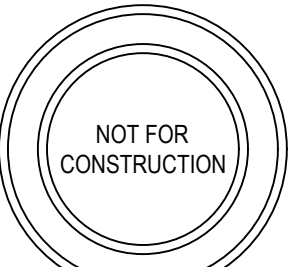
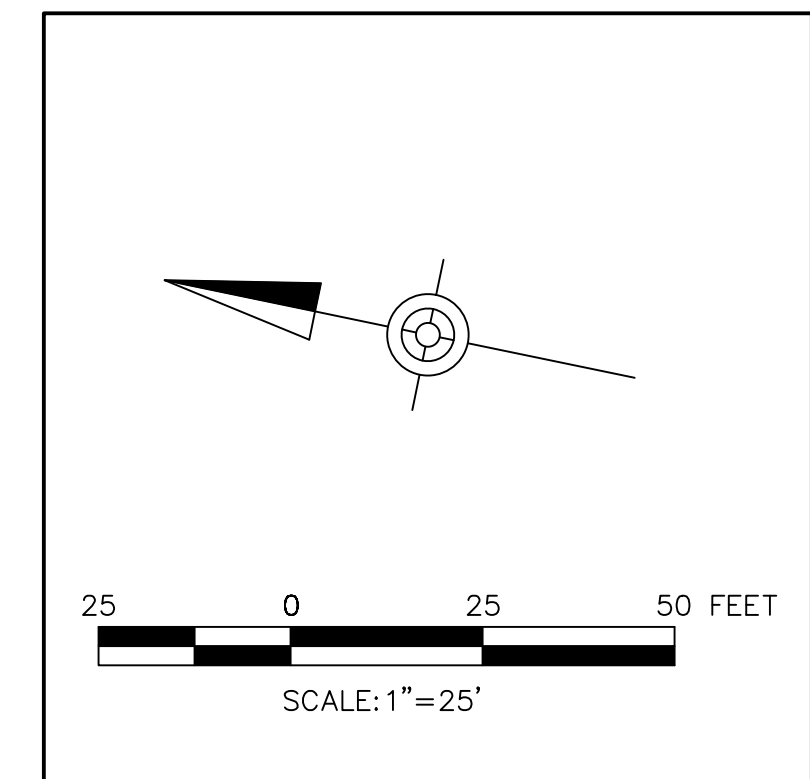
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NO.	DATE	BY	CHKD	COMMENTS
1	05-21-24	ALTA PLAN		
		BSH	ZRA	
		BY	CHKD	
		ISSUE / REVISIONS		



ALTA / NSPS LAND TITLE SURVEY PREPARED FOR SOUTH CORNING, NY
DOLLAR GENERAL - SOUTH CORNING, NY
VILLAGE OF SOUTH CORNING, STEUBEN COUNTY, NEW YORK
Larson Design Group • Architects Engineers Surveyors
1000 Commerce Park Drive • Suite 201
Williamsport, PA 17701
PHONE 570.323.6603 TOLL FREE 877.323.6603
FAX 570.323.9902 • www.larsondesigngroup.com
MSP DEVELOPMENT LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TOWNSHIP, PENNSYLVANIA 16006
PHONE (724)-469-0569

SURVEY CONTROL				
POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM-51	772643.1890	755050.4740	870.61	"X" CHISELED IN FH BOLT
BM-52	772845.7020	754995.4240	871.30	6" SPIKE IN POLE
TT-1	772889.1800	754999.8730	871.01	CAPPED REBAR
TT-2	773171.0980	754994.7390	872.77	MAG NAIL



SEAL

DATE	MARK	INITIAL MUNICIPAL PERMIT SUBMISSION	COMMENTS
0			

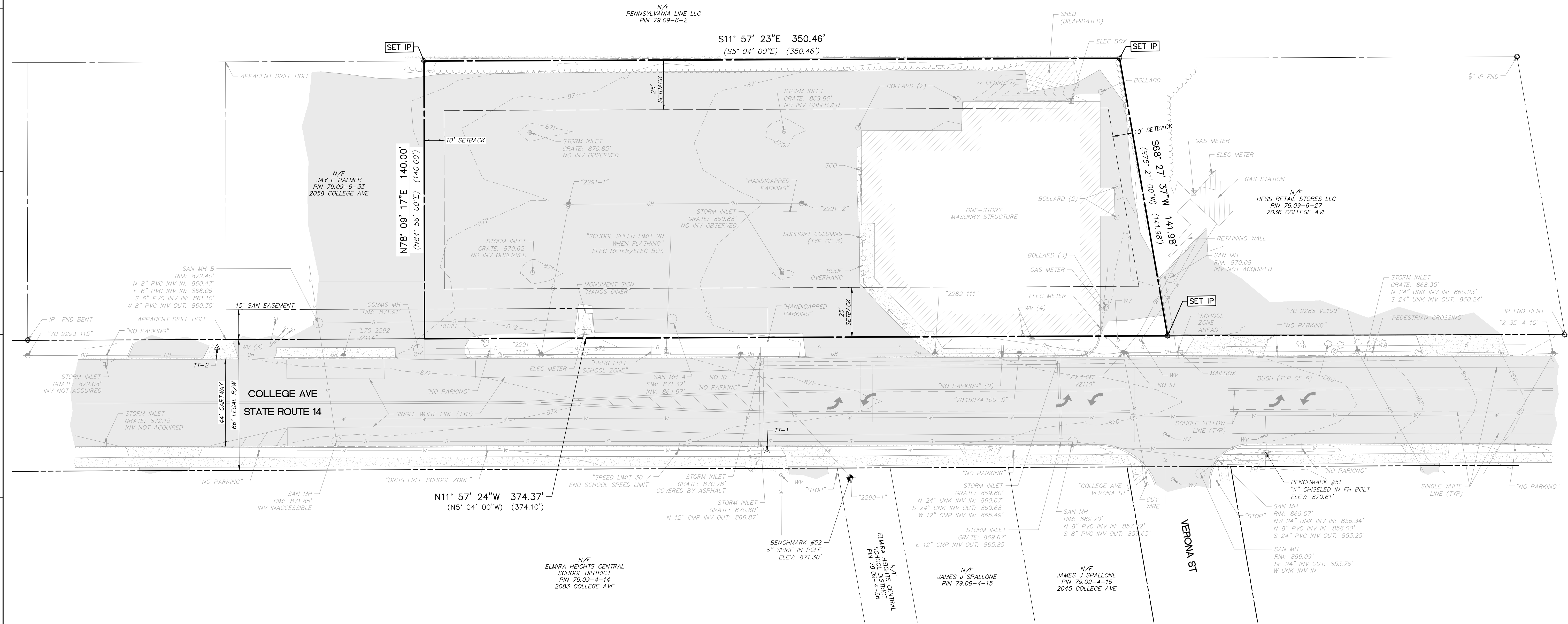
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DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

LOT PLAN
LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

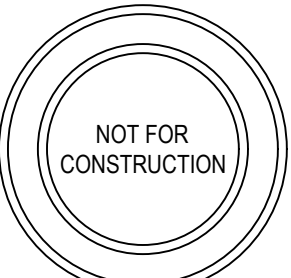
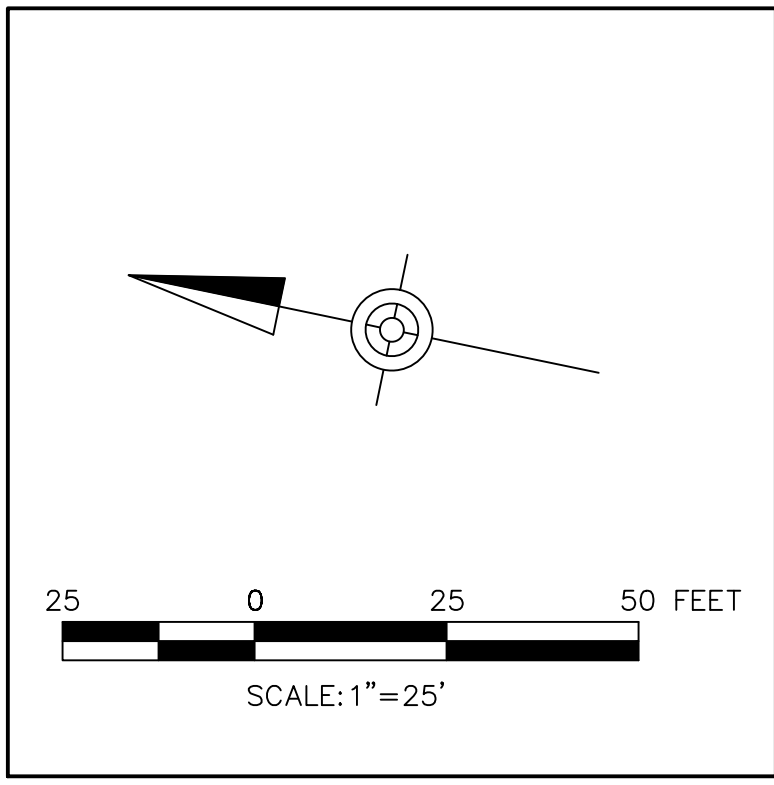
C-101



DEMOLITION PLAN IDENTIFIERS		
TBA	TO BE ABANDONED IN PLACE	ITEMS SUCH AS UTILITIES THAT WILL BECOME ABANDONED IN PLACE AFTER COMPLETION OF WORK
TBR	TO BE REMOVED	ITEMS TO BE DEMOLISHED AND REMOVED FROM THE PROJECT AREA
TBRs	TO BE REMOVED AND SALVAGED	ITEMS TO BE REMOVED INTACT AND RETURNED TO THE PROJECT OWNER, PROPERTY OWNER, OR GENERAL CONTRACTOR
TBRr	TO BE REMOVED AND REINSTALLED	ITEMS TO BE REMOVED INTACT AND REUSED ELSEWHERE ON THE PROJECT SITE SUCH AS TRAFFIC SIGNAGE

DEMOLITION PLAN NOTES:

1. FEATURES SHOWN IN DARK LINETYPES SHALL BE REMOVED, SALVAGED AND/OR ABANDONED AS NOTED.
2. FEATURES DIMMED SHALL REMAIN IN PLACE AS NOTED.
3. WATER: CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, CUT AND CAP EXISTING WATER SERVICE AS SHOWN.
4. NATURAL GAS: CONTRACTOR SHALL COORDINATE WITH NYSEG TO CUT AND ABANDON EXISTING NATURAL GAS SERVICE IN PLACE.



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2024-06-26		

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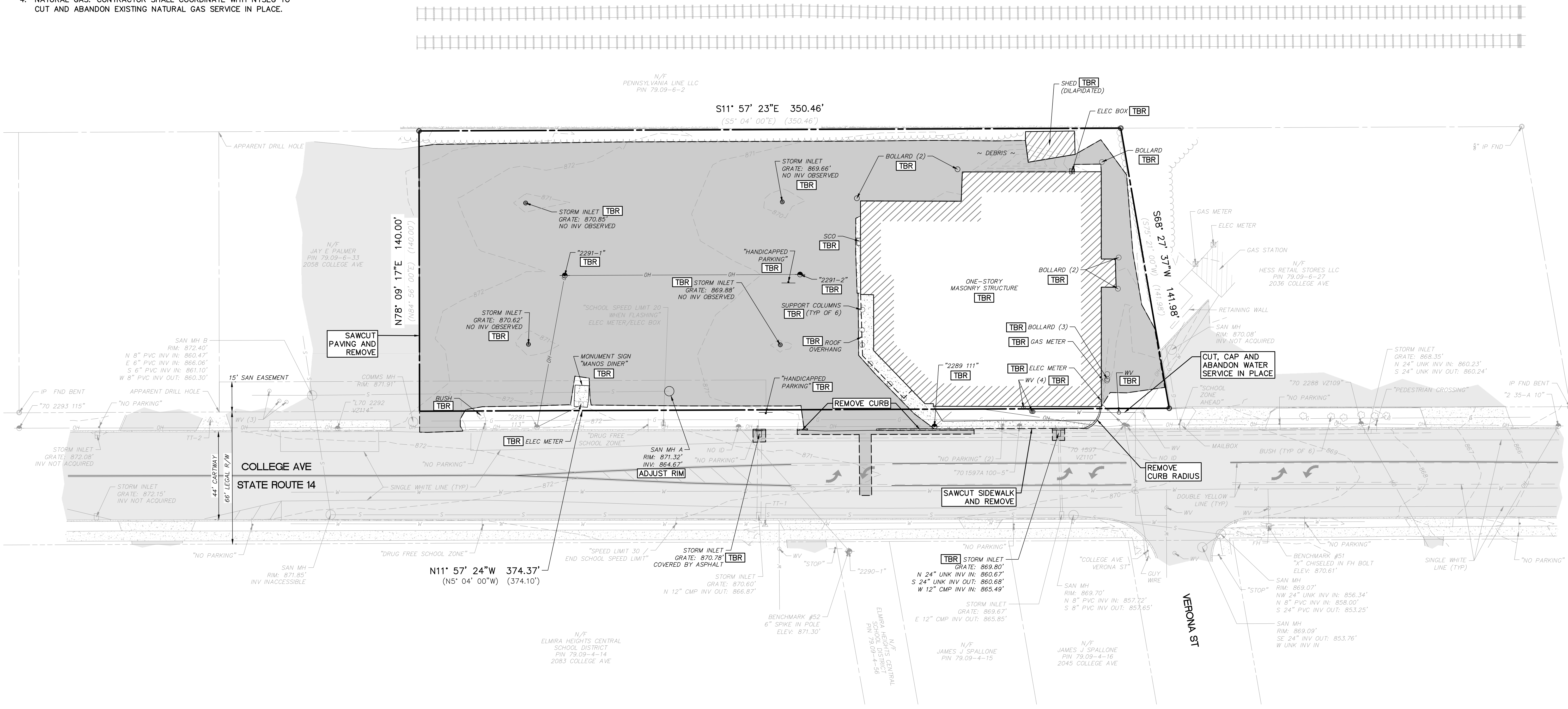
DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

DEMOLITION PLAN

LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-102



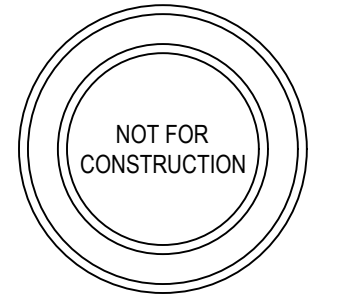
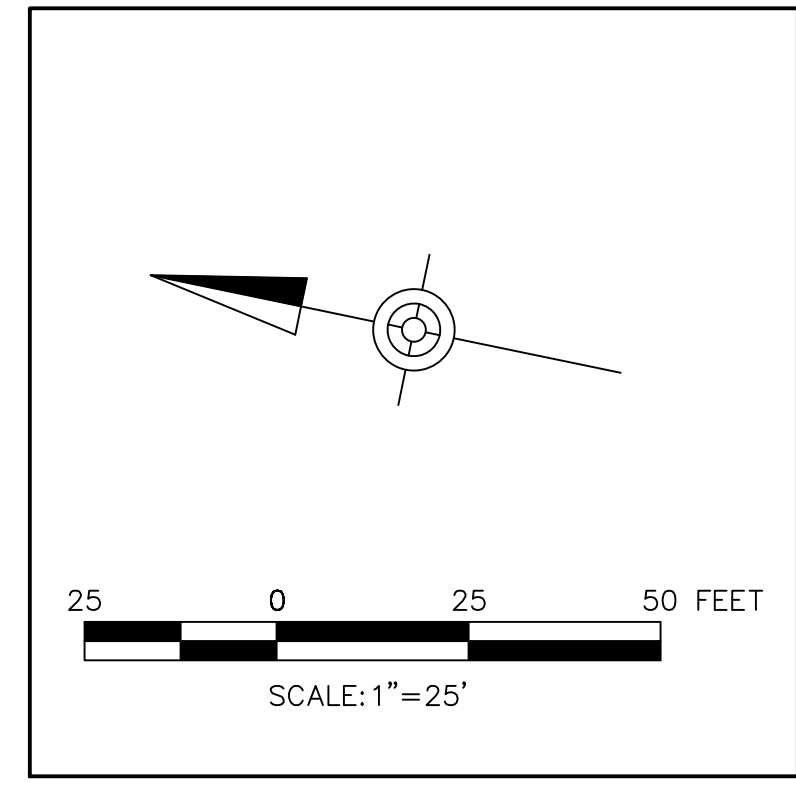
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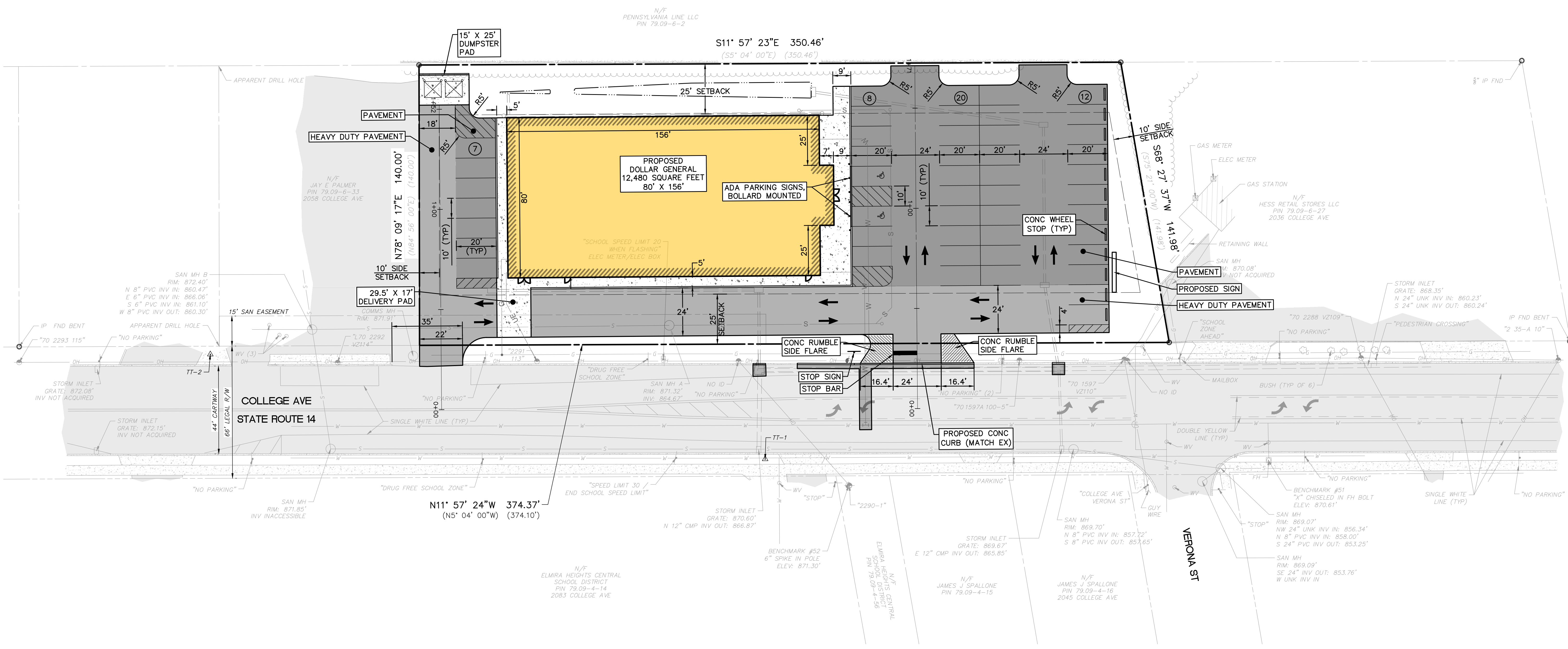
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DOLLAR GENERAL STORE - ELMIRA HEIGHTS
 2048 COLLEGE AVE
 ELMIRA HEIGHTS, NY 14903

SITE LAYOUT PLAN
 LAND DEVELOPMENT PLANS

Date: 2024-06-26
 Project No.: 13459-014
 Sheet No.:

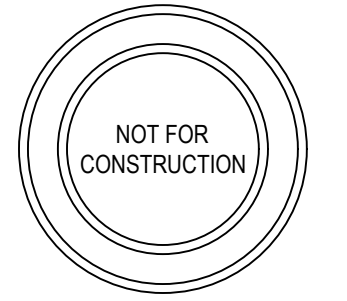
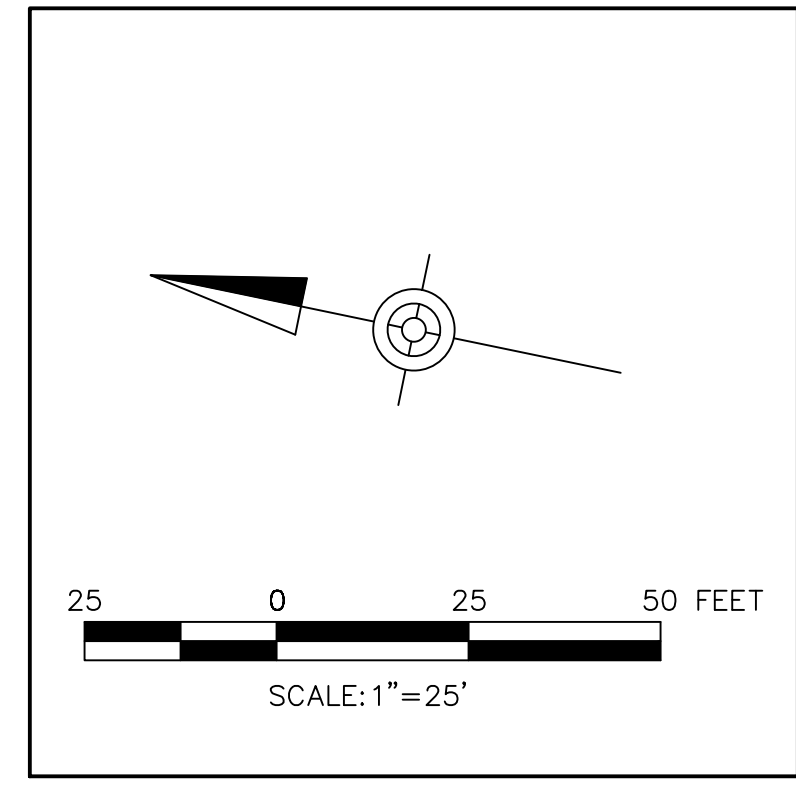
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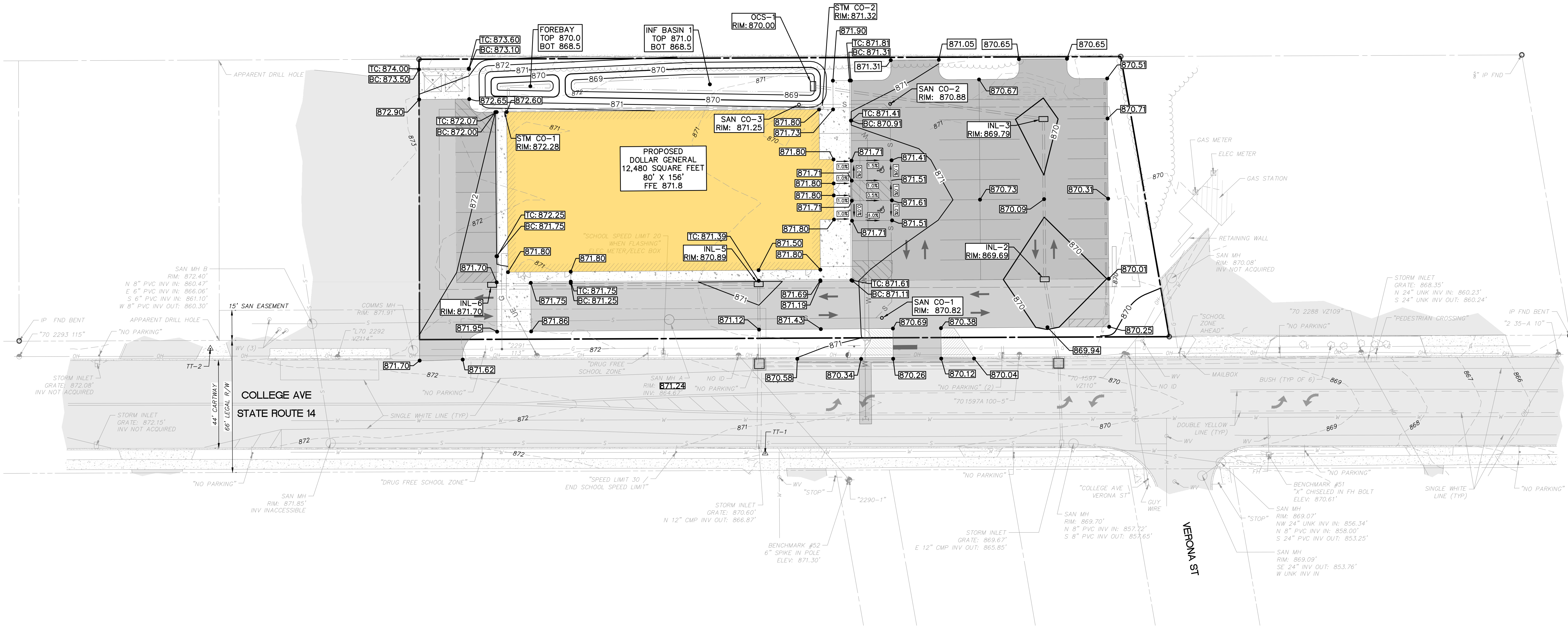
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MARK	DATE	INITIAL MUNICIPAL PERMIT SUBMISSION	COMMENTS
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DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

GRADING PLAN

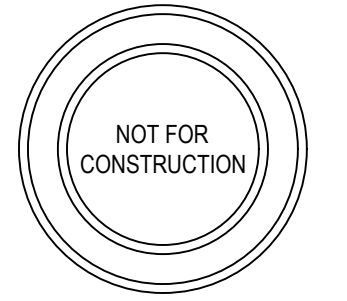
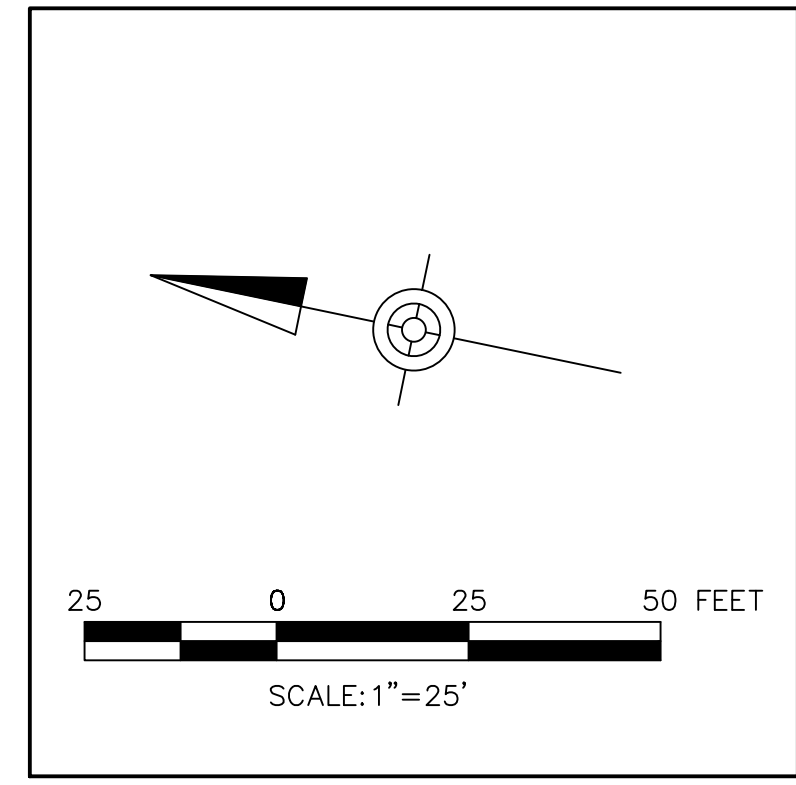
LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-202

NOT FOR CONSTRUCTION

- UTILITY NOTES:**
- DOMESTIC WATER SERVICE:**
 - ELMIRA WATER BOARD TO EXCAVATE FOR WATER SERVICE TAP, TAP MAIN, AND INSTALL CURB STOP WITH CURB BOX.
 - CONTRACTOR RESPONSIBLE TO INSTALL DOMESTIC WATER SERVICE LATERAL FROM THE CURB STOP/BOX TO THE BUILDING.
 - THE WATER SERVICE PIPING SHALL MEET THE REQUIREMENTS OF AWWA C901-20
 - BACKFLOW PREVENTION:**
 - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A BACKFLOW PREVENTER INSIDE THE BUILDING LISTED ON THE APPROVED BACKFLOW PREVENTION ASSEMBLIES PROVIDED HERE: <https://fccchr.usc.edu//list.html>
 - THE CONTRACTOR IS RESPONSIBLE TO ENGAGE A CERTIFIED BACKFLOW PREVENTION INSPECTOR TO TEST THE BACKFLOW PREVENTION ASSEMBLY AND PROVIDE A COMPLETED REPORT ON TEST AND MAINTENANCE OF BACKFLOW PREVENTION DEVICE.
 - FIRE SUPPRESSION WATER SERVICE:** 6" DIP FIRE LINE REQUIRED.
 - SEWER:** 4" PVC SDR 35 LATERAL REQUIRED
 - GAS:** 1" GAS SERVICE REQUIRED
 - ELECTRIC:** 600-AMP, SINGLE PHASE OR 400-AMP, THREE PHASE ELECTRICAL SERVICE REQUIRED. ELECTRICAL SERVICE TO BE PROVIDED UNDERGROUND.



MARK	DATE	INITIAL MUNICIPAL PERMIT SUBMISSION	COMMENTS
0	2024-06-26		

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 2009 MACKENZIE WAY, SUITE 100
 CRANBERRY TWP, PA 16066

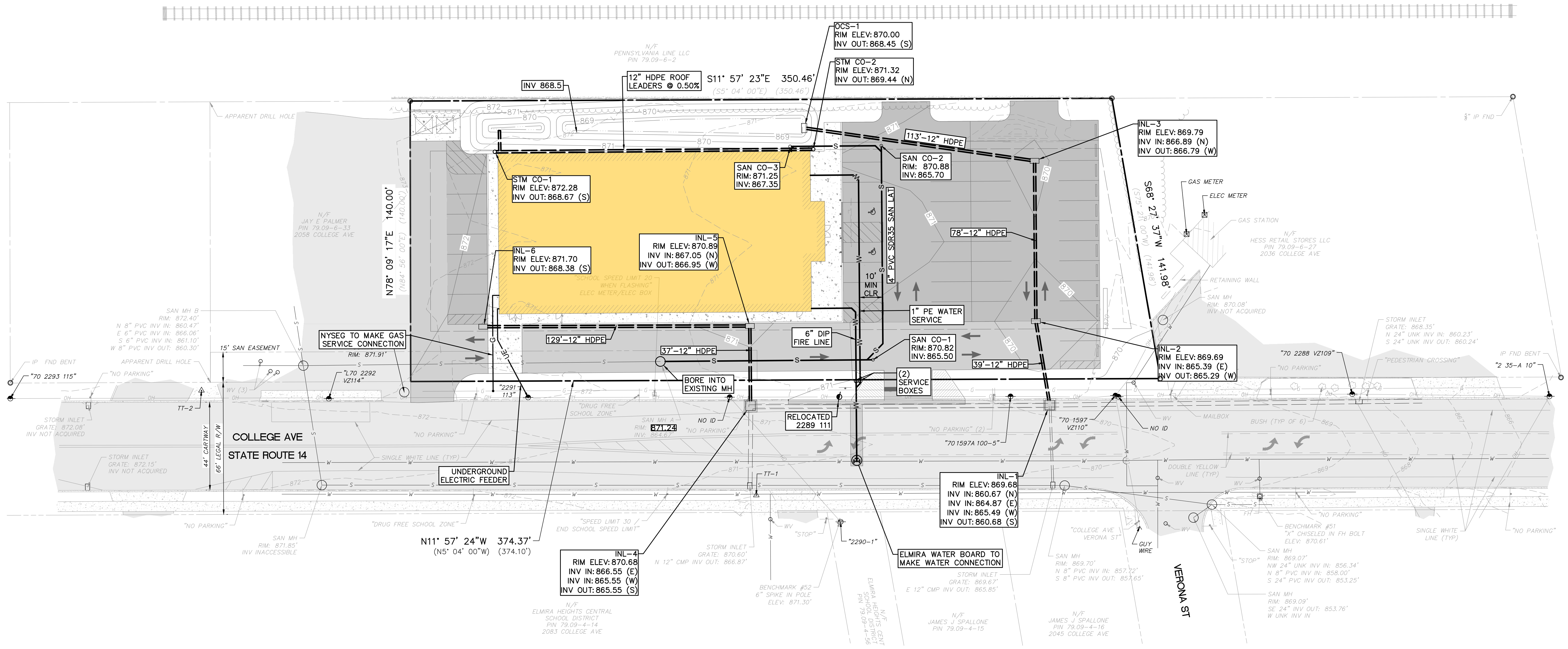
DOLLAR GENERAL STORE - ELMIRA HEIGHTS
 2048 COLLEGE AVE
 ELMIRA HEIGHTS, NY 14903

UTILITY PLAN

LAND DEVELOPMENT PLANS

Date: 2024-06-26
 Project No.: 13459-014
 Sheet No.:

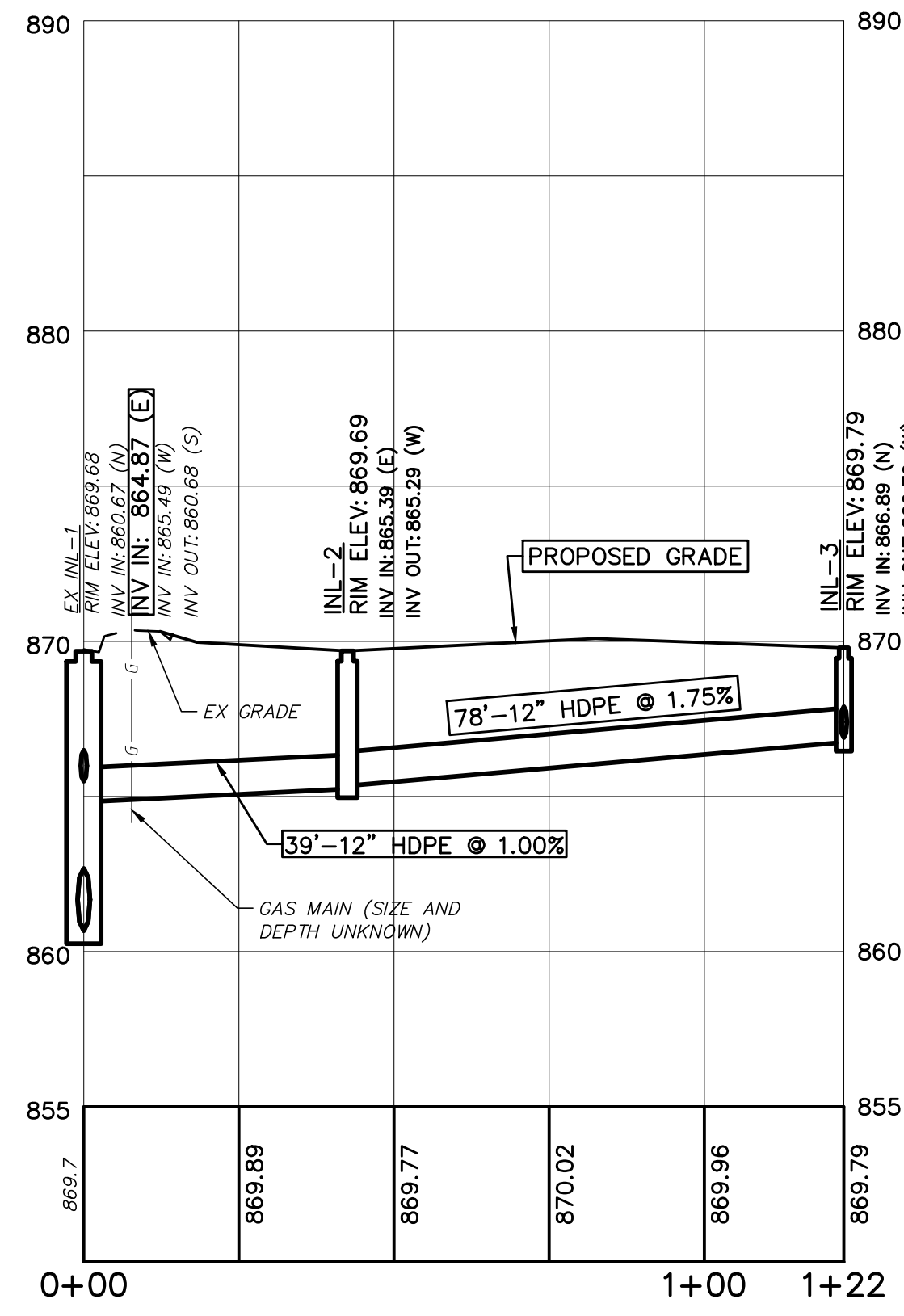
C-203



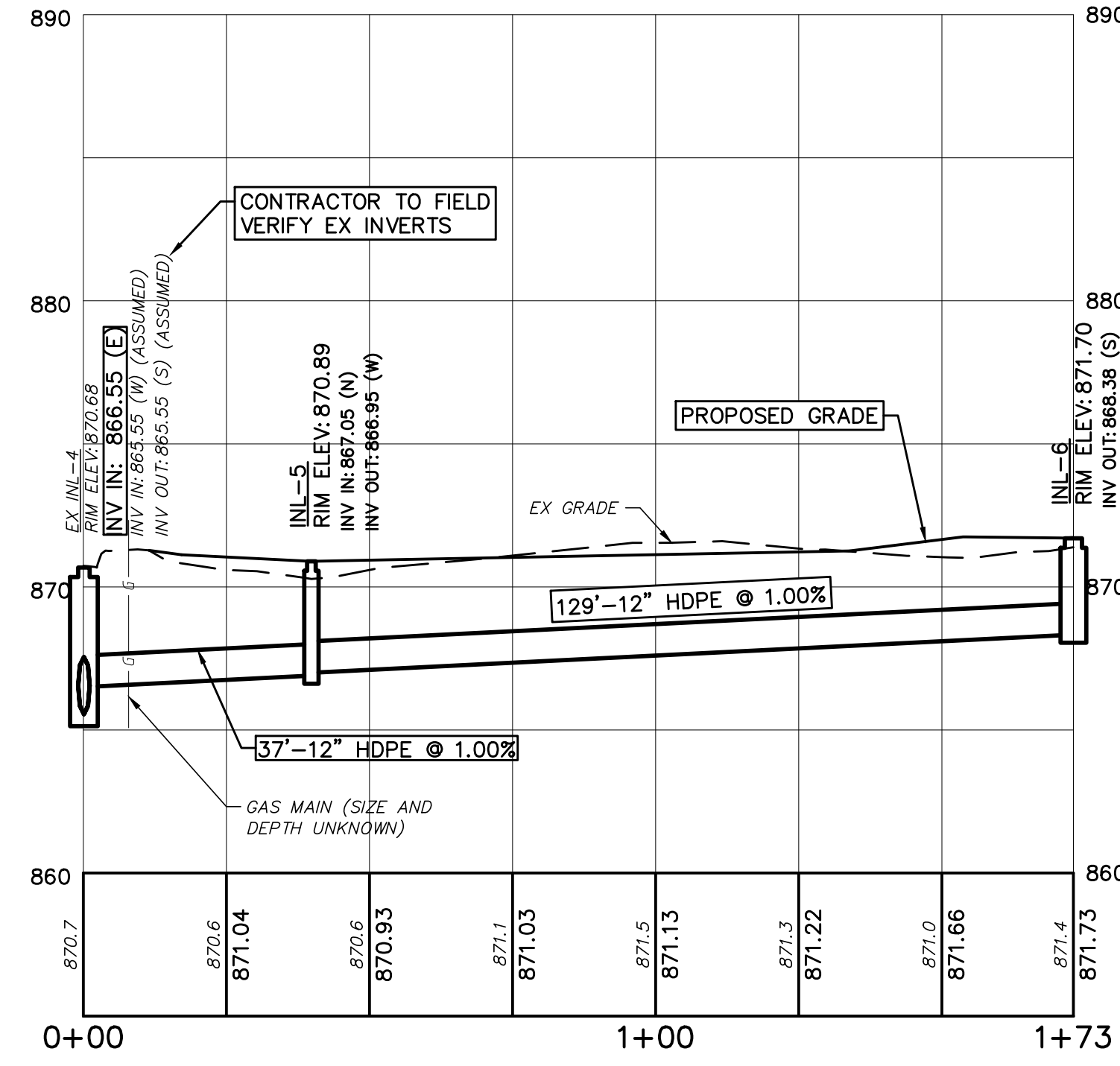
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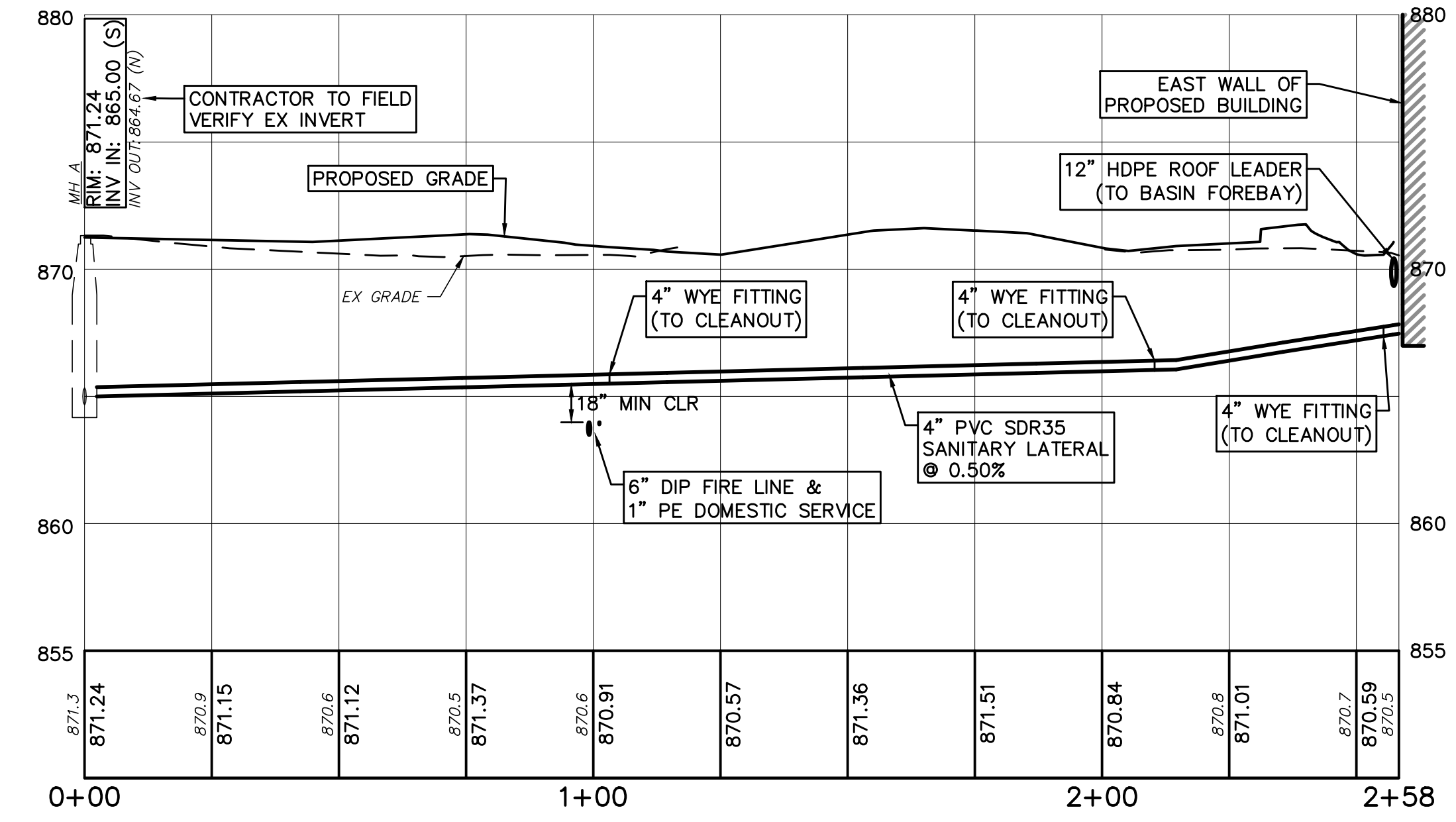
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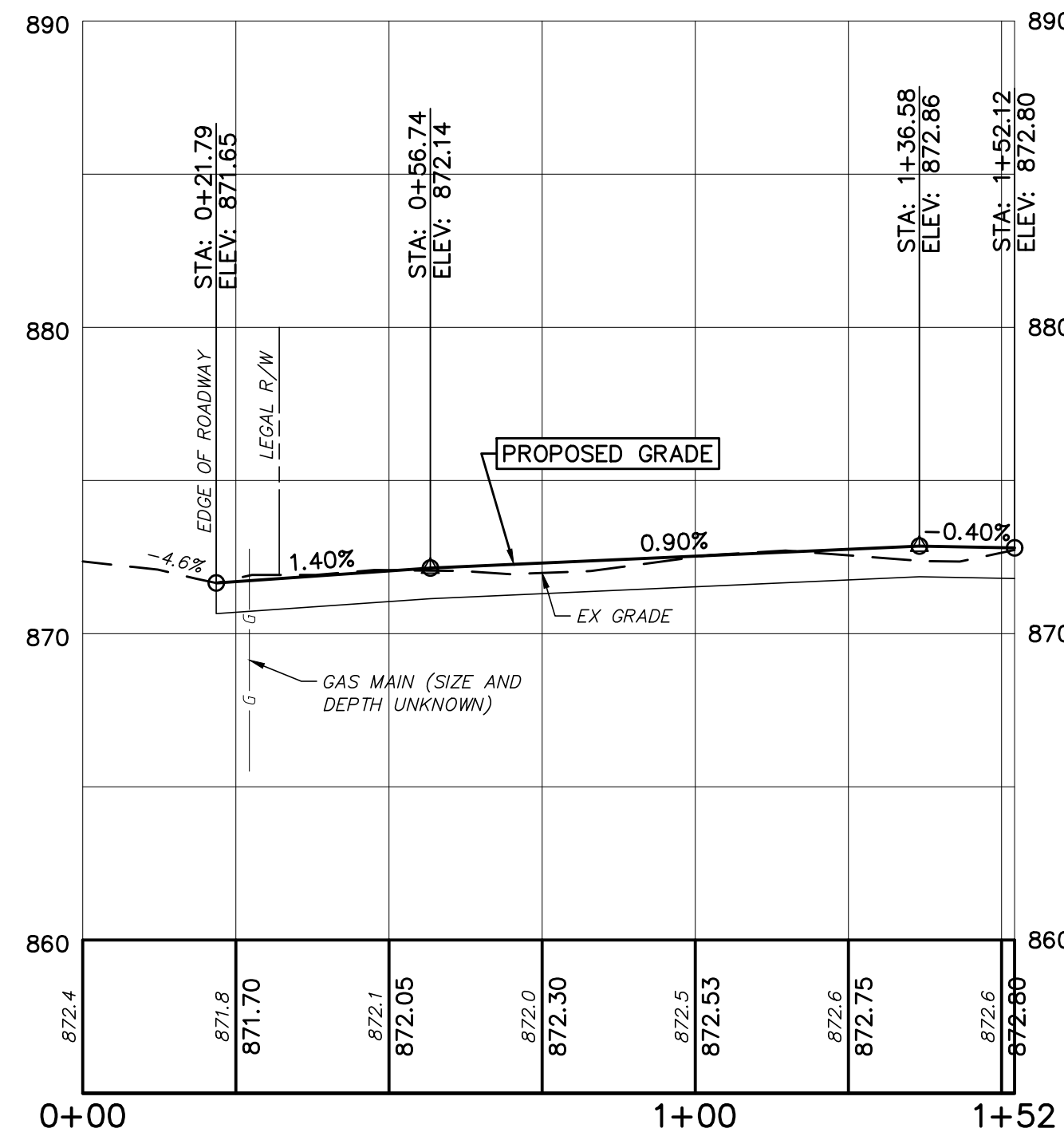
I-1 to I-3 PROFILE



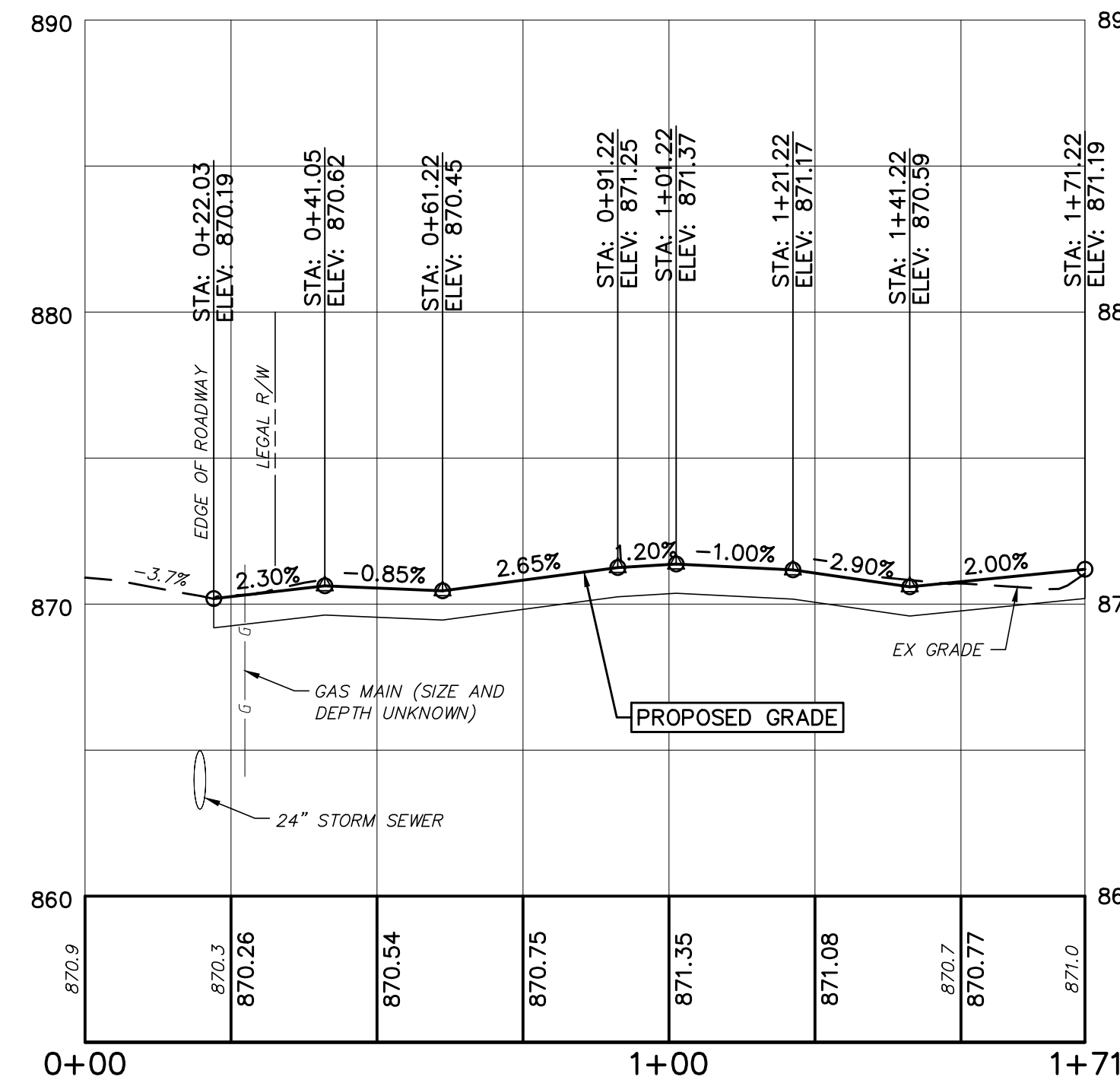
I-4 to I-6 PROFILE



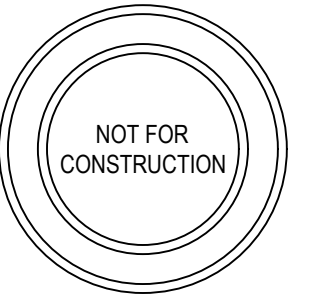
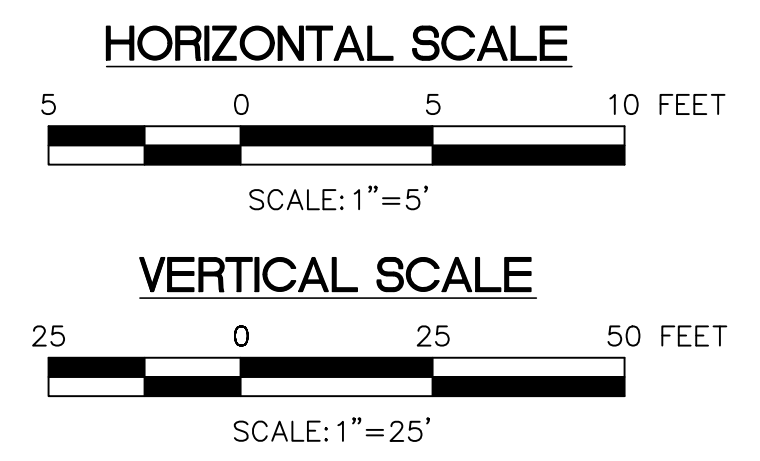
SANITARY LATERAL PROFILE



NORTHERN DRIVEWAY PROFILE



SOUTHERN DRIVEWAY PROFILE



MARK	DATE	COMMENTS
0	2024-06-26	INITIAL MUNICIPAL PERMIT SUBMISSION

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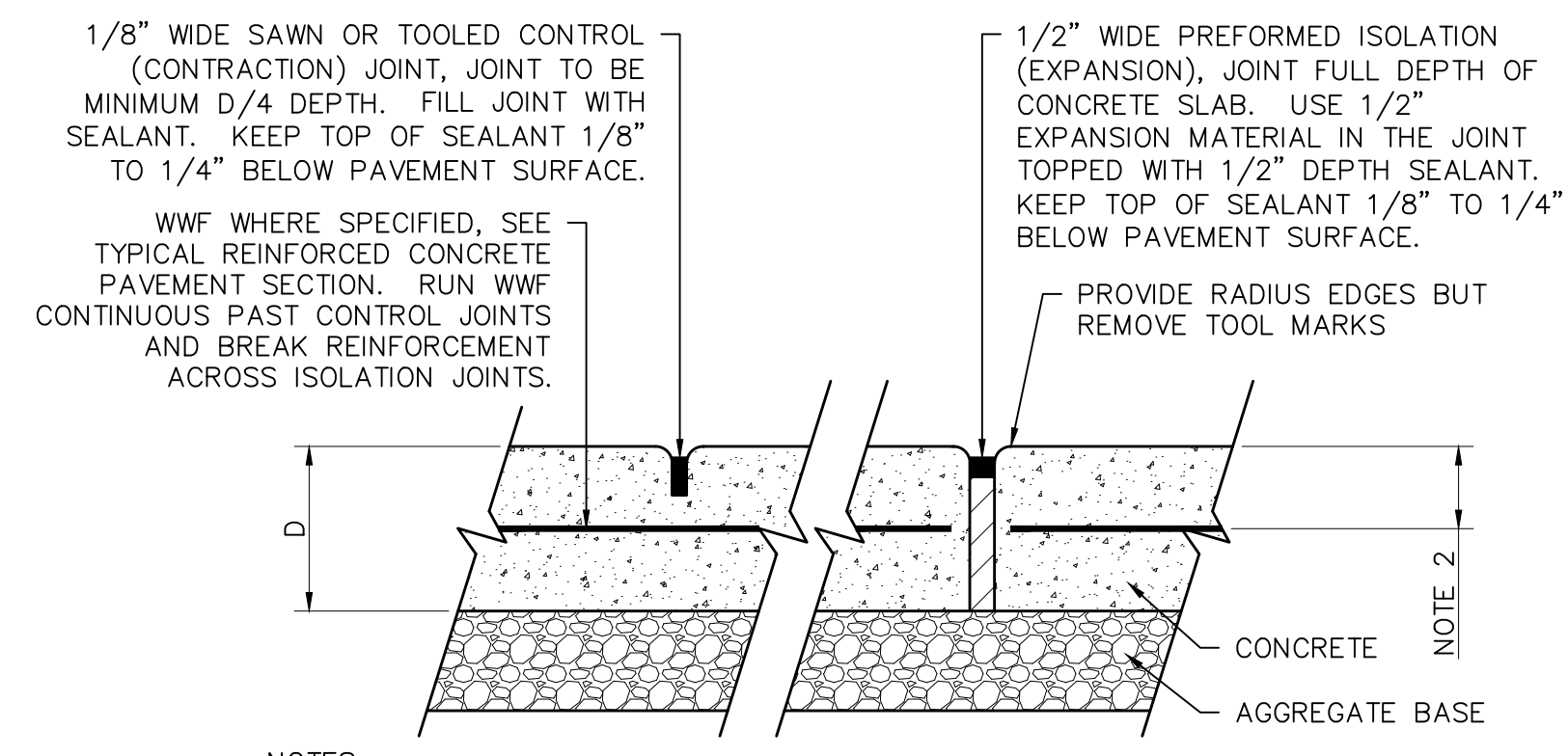
DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903
PROFILES
LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-204

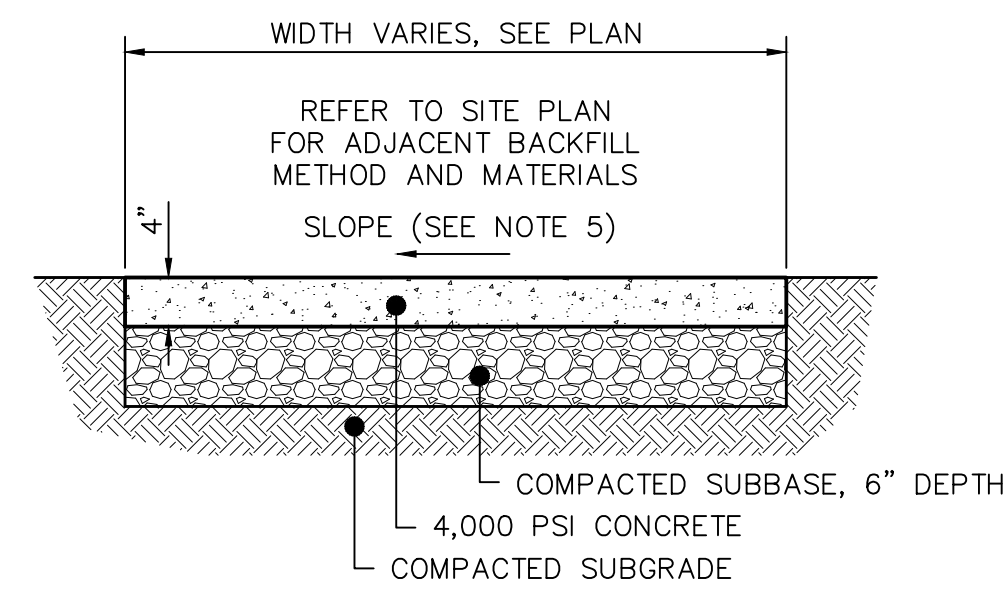
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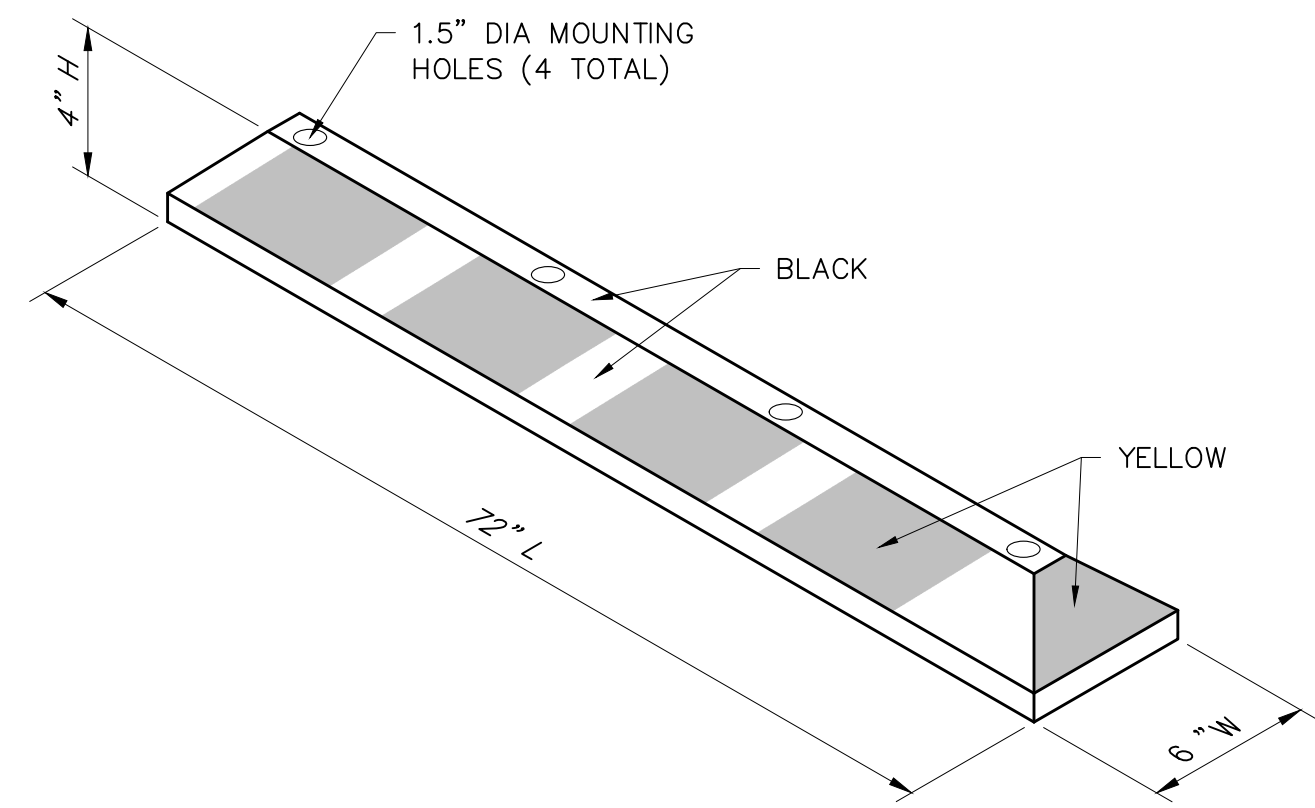
- NOTES:
- SEE DRAWINGS AND SPECIFICATIONS FOR PLACEMENT OF ISOLATION AND CONTROL JOINTS FOR SIDEWALK OR CONCRETE SLABS ON GRADE.
 - D/2 FOR SIDEWALKS. 2 1/2" MIN. TO D/2 MINUS 1/2" MAX. FOR VEHICULAR PAVEMENTS.

ISOLATION AND CONTROL JOINTS
SCALE: NOT TO SCALE



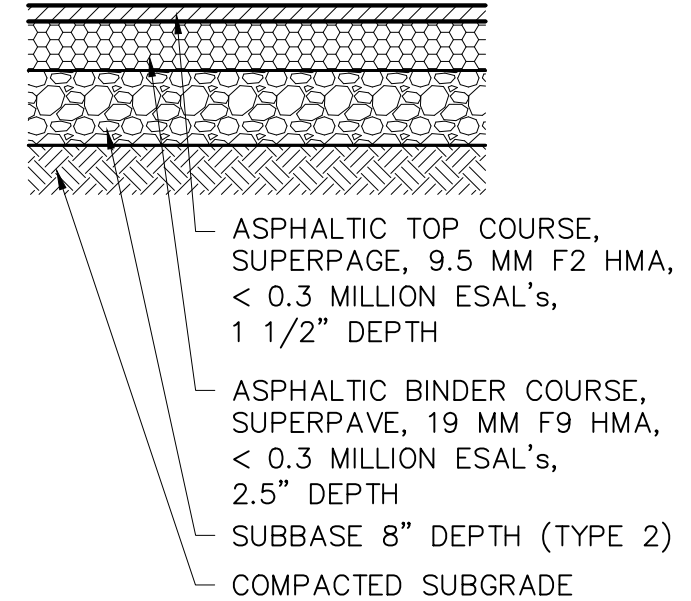
- NOTES:
- FORM A RADIUS EDGE AT ALL EDGES AND JOINTS WITH A 1/4" RADIUS EDGING TOOL. REMOVE ALL TOOL MARKS.
 - PROVIDE SCORED JOINTS EVERY 5' AND EXPANSION JOINTS AT MAXIMUM 25' INTERVALS.
 - WHERE CONCRETE ABUTS RIGID OBJECTS, INSTALL 1/4" PREMOLDED EXPANSION MATERIAL.
 - PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO FOOT TRAFFIC.
 - CROSS SLOPE OF WALK SHALL BE 1.0% PREFERRED. 2.0% MAXIMUM.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL BE 4.5% PREFERRED OR 5% MAXIMUM OR MATCH ADJACENT ROAD GRADE IF OVER 5%.
 - SEAL ALL ASPHALT-TO-ASPHALT AND ASPHALT-TO-CONCRETE JOINTS WITH ASPHALT RUBBER SEALING COMPOUND. ASTM D5078.
 - SIDEWALK THICKNESS TO BE 4" TYPICAL EXCEPT IN AREAS OF SIDEWALK FLUSH WITH ADJACENT PAVEMENT OR WHERE SIDEWALK CROSSES DRIVEWAYS. IN THIS CASE, THE SIDEWALK DEPTH SHALL INCREASE TO 6" DEPTH.

CONCRETE SIDEWALK
SCALE: NOT TO SCALE

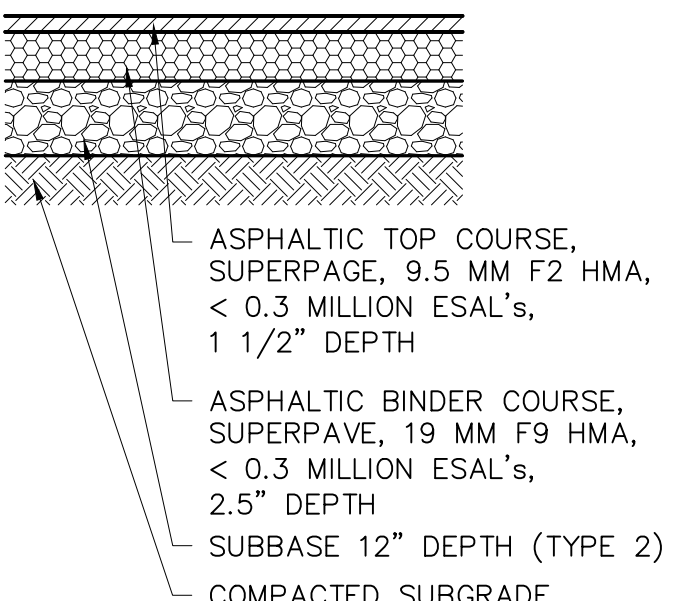


- POLYMER WHEEL STOP NOTES:
- BASIS OF DESIGN: ULINE MODEL H-4608B/Y.
 - PROVIDE ASPHALT INSTALLATION KIT, ULINE MODEL H-2396.

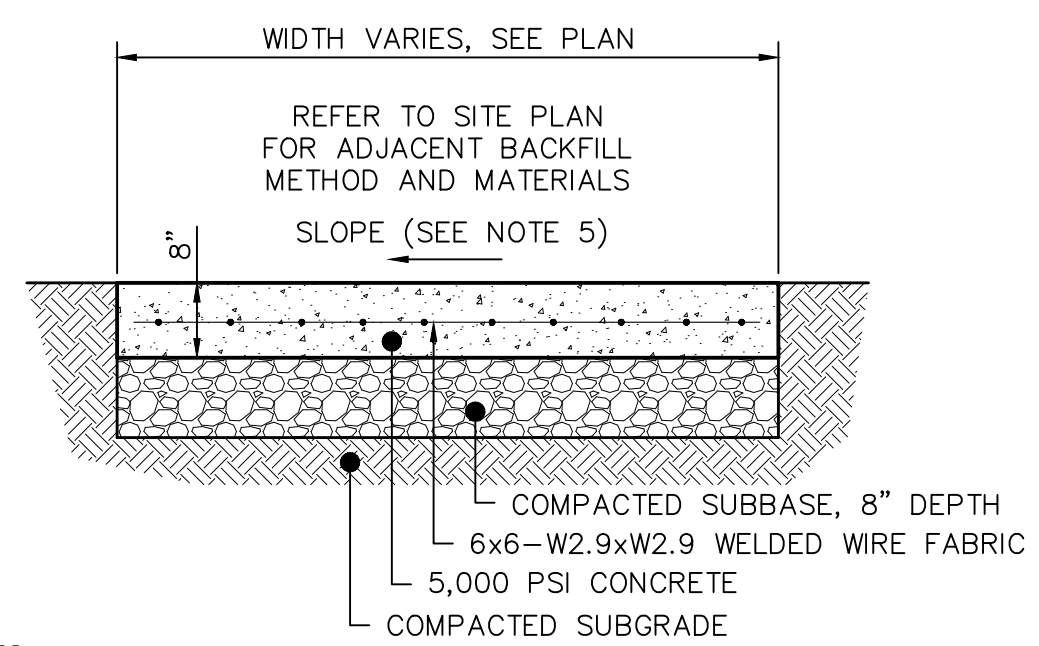
POLYMER WHEEL STOP, 6' LENGTH
SCALE: NOT TO SCALE



LIGHT DUTY ASPHALT PAVEMENT
SCALE: NOT TO SCALE

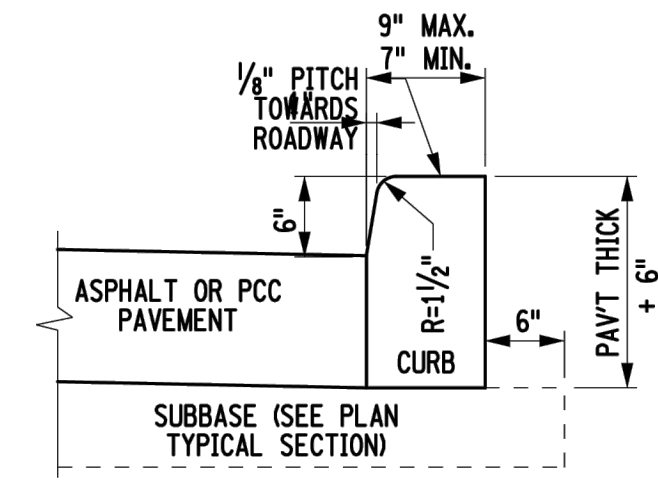


HEAVY DUTY ASPHALT PAVEMENT
SCALE: NOT TO SCALE



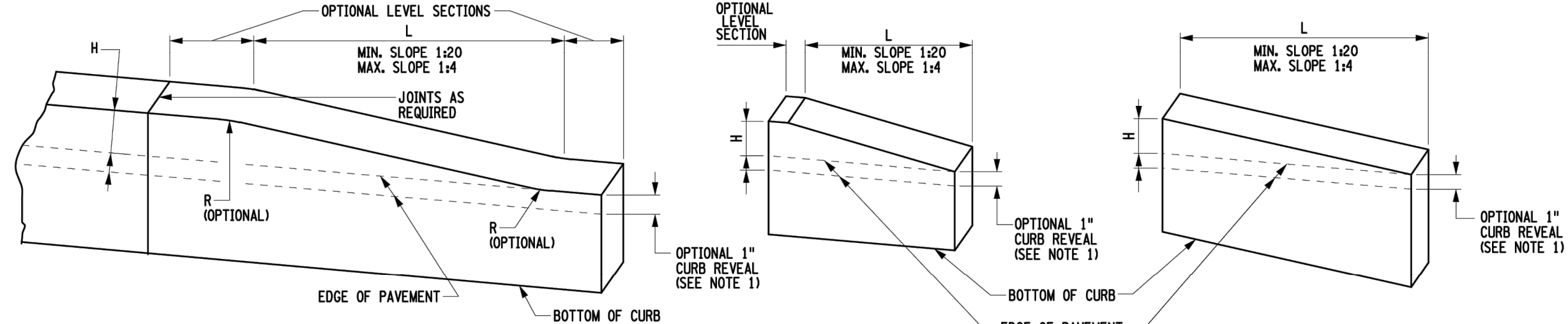
- NOTES:
- FORM A RADIUS EDGE AT ALL EDGES AND JOINTS WITH A 1/4" RADIUS EDGING TOOL. REMOVE ALL TOOL MARKS.
 - PROVIDE SCORED JOINTS EVERY 5' AND EXPANSION JOINTS AT MAXIMUM 25' INTERVALS.
 - WHERE CONCRETE ABUTS RIGID OBJECTS, INSTALL 1/4" PREMOLDED EXPANSION MATERIAL.
 - PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO FOOT TRAFFIC.
 - SLOPE IN ANY DIRECTION SHALL BE 1.0% PREFERRED. 2.0% MAXIMUM.
 - SEAL ALL ASPHALT-TO-ASPHALT AND ASPHALT-TO-CONCRETE JOINTS WITH ASPHALT RUBBER SEALING COMPOUND. ASTM D5078.

CONCRETE PADS (LOADING AREA)
SCALE: NOT TO SCALE



TYPE VF6
(VERTICAL FACED CURB WITHOUT CURB ANCHOR)
(SEE NOTE 4)

- NOTES:
- USE CURB AND CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
 - CURB ANCHOR NEW CONSTRUCTION. THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED ISHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES.
 - CURB TYPES M6A, VF6A AND M6A REQUIRE CURB ANCHOR, CURB AND GUTTER TYPES VF6G AND M6G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
 - WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES C11, C12, AND C13 AND CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB, SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
 - USE WITH CURB BOXES, CM1, CM2, AND CM3.



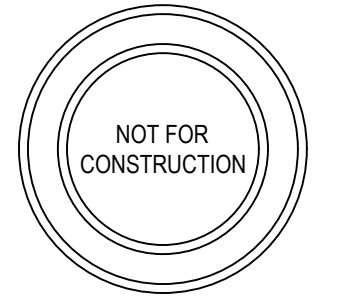
CURB TRANSITION LENGTHS (L)			
H	SLOPE	1:4	1:12
4"		16"	48"
6"		24"	72"

CURB TRANSITION LENGTHS (L) WITH CURB REVEAL			
H	SLOPE	1:4	1:12
4"		12"	36"
6"		20"	60"

- NOTES:
- USE 1" REVEAL AND CONTINUE CURB ACROSS DRIVEWAY ENTRANCES ONLY IF SHOWN IN THE CONTRACT DOCUMENTS, OR DIRECTED BY THE ENGINEER AS A FIELD CONDITION.
 - TERMINATE CURB, CURB AND GUTTER BY TRANSITIONING ON A MAXIMUM SLOPE OF 1:12 TO PAVEMENT SURFACE.
 - EXTEND JOINT FILLER 6" MINIMUM BEHIND CURB ON BOTH SIDES OF CURB BOX. 705-07 NOT NEEDED WHEN VERTICAL FACED CURB WIDTH EQUAL TO WIDTH OF CURB BOX.

NYDOT STANDARD CURB DETAILS
SCALE: NOT TO SCALE

Larson Design Group
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-6603



NO.	DATE	INITIAL MUNICIPAL PERMIT SUBMISSION	COMMENTS
0	2024-06-26		

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

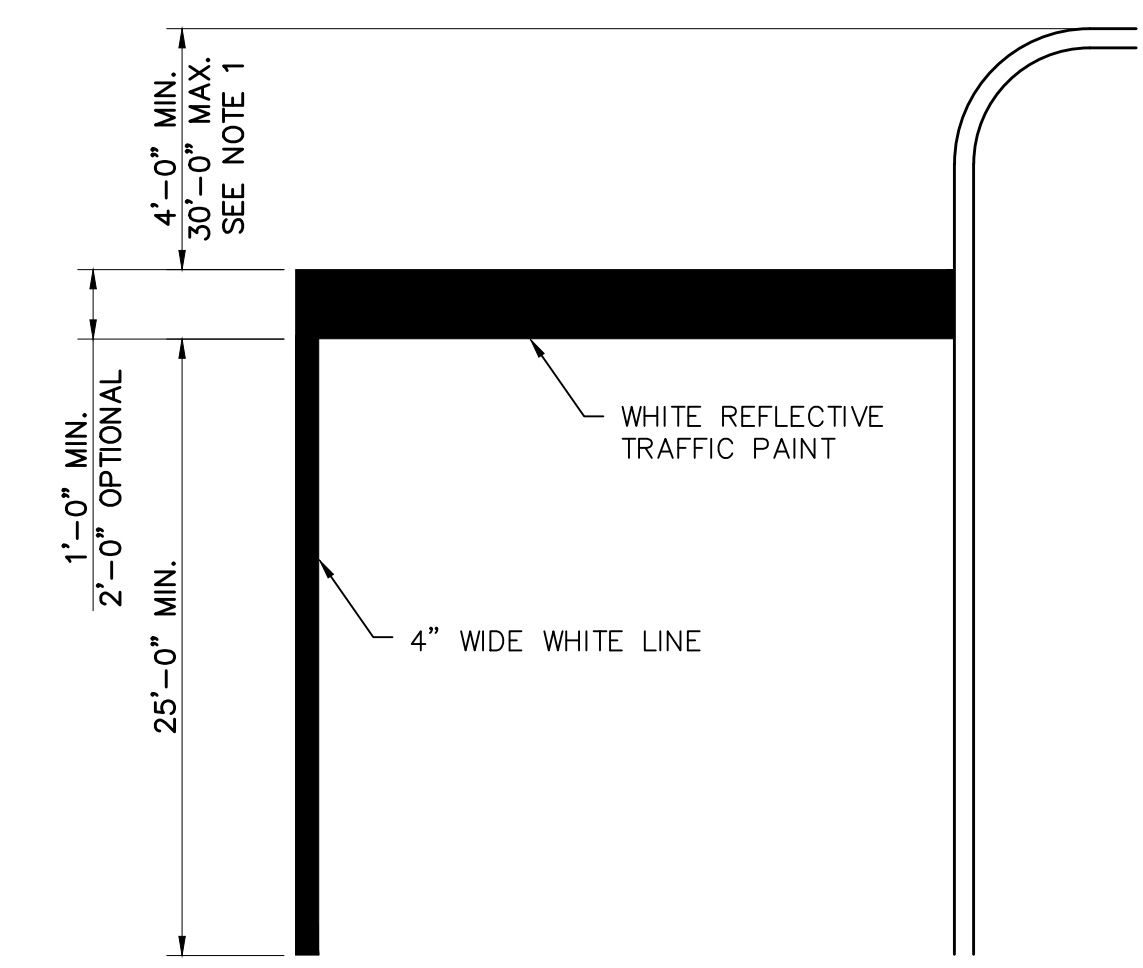
SITE DETAILS

LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

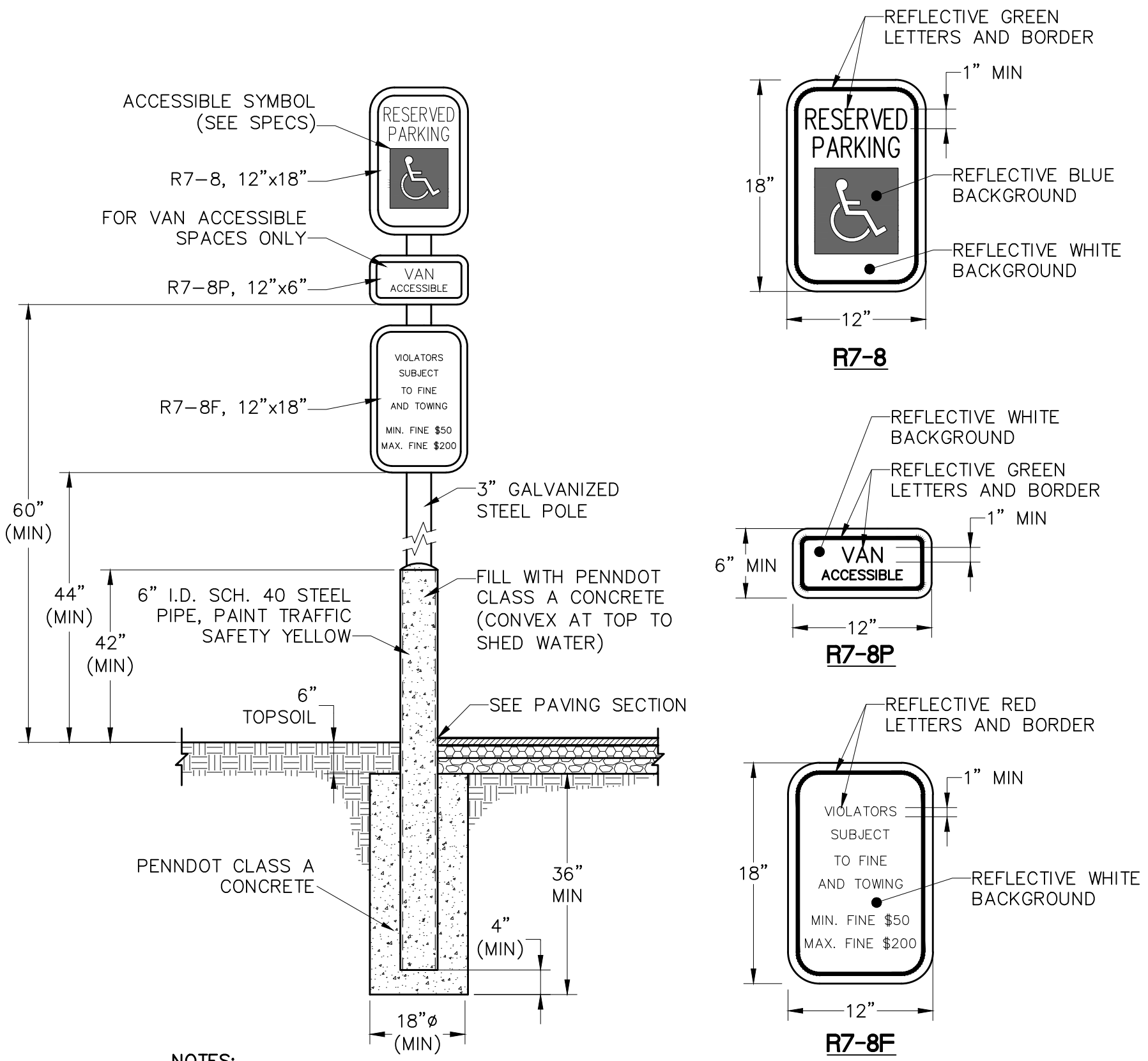
C-301

NOT FOR CONSTRUCTION



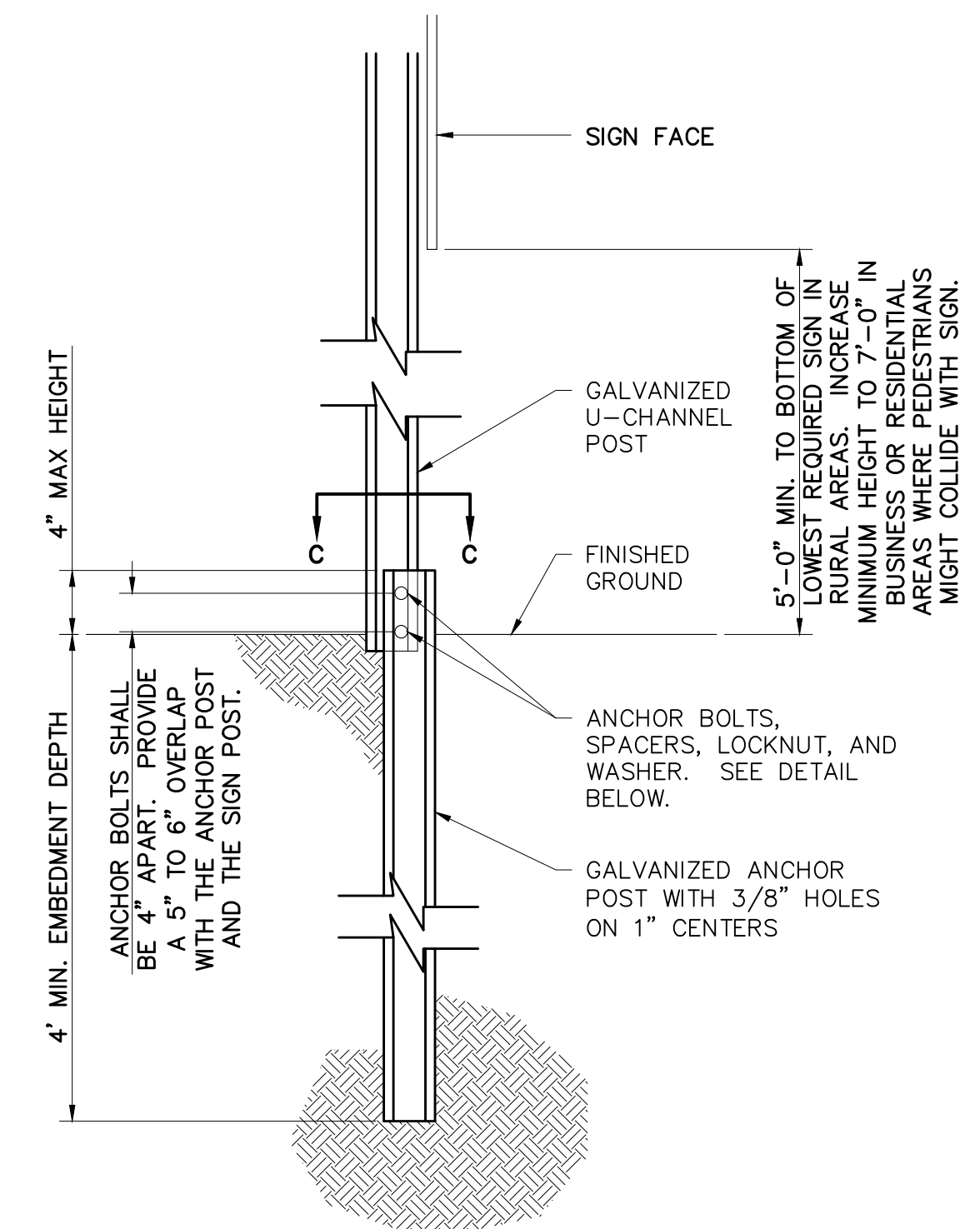
- NOTES:**
- STOP LINES SHALL BE SOLID WHITE LINES THAT COMPLETELY TRAVERSE EACH TRAFFIC LANE. AT INTERSECTIONS WITH A STOP SIGN THE STOP LINE SHALL BE PLACED 4'-0" MINIMUM OR 30' MAXIMUM FROM THE NEAREST EDGE OF THE INTERSECTING ROADWAY TO ENSURE MAXIMUM SIGHT DISTANCE TO VEHICLES ON THE CROSSING ROUTE. WHEN USED ON MULTILANE APPROACHES TO A SIGNALIZED INTERSECTION THE STOP LINE MAY BE STAGGERED FOR EACH LANE TO ASSIST TURNING VEHICLES AND TO IMPROVE SIGHT DISTANCE FOR A MOTORIST DESIRING TO MAKE A RIGHT TURN ON RED.
 - LOCATE STOP LINES A MINIMUM OF 4'-0" IN ADVANCE OF AND PARALLEL TO THE CROSSWALK LINES.

PAINTED STOP BAR
SCALE: NOT TO SCALE

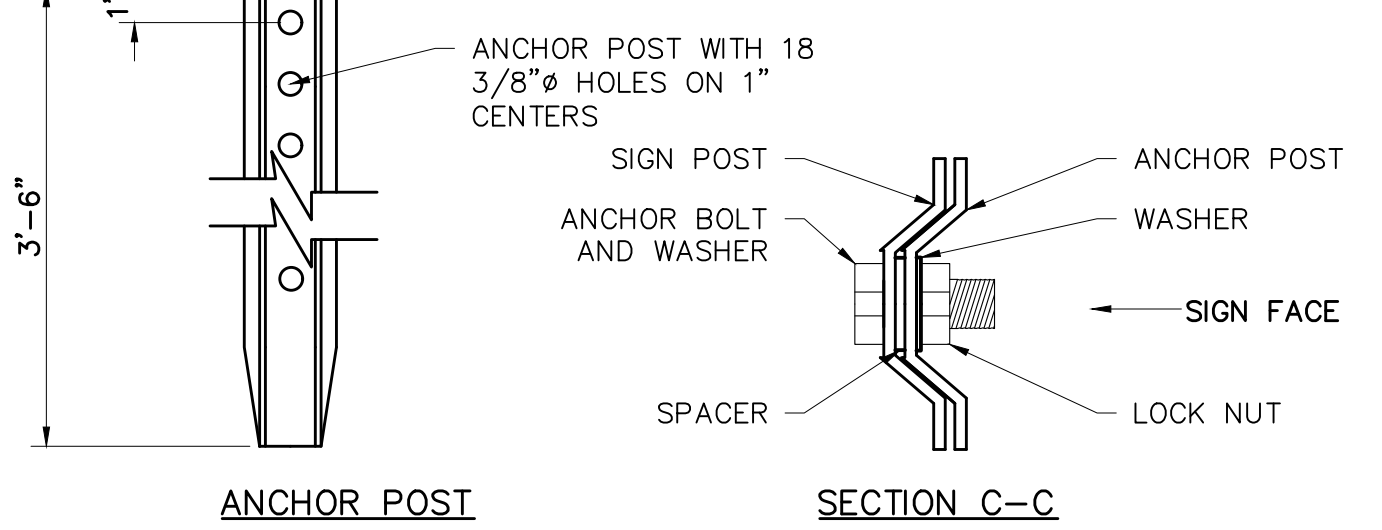


- NOTES:**
- PANELS ARE TO BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY. BOLT TO ELECTRO-GALVANIZED STEEL TUBE WITH 5/8" DIA. CADMIUM PLATED NUTS, BOLTS AND WASHERS.
 - SIGN DETAILS AND DESIGNATIONS ARE PER PENNDOT PUBLICATION 236 HANDBOOK OF APPROVED SIGNS. REFERENCE PUB 236, AVAILABLE ONLINE, FOR ADDITIONAL DETAILS.

ACCESSIBLE SIGN ON BOLLARD
SCALE: NOT TO SCALE



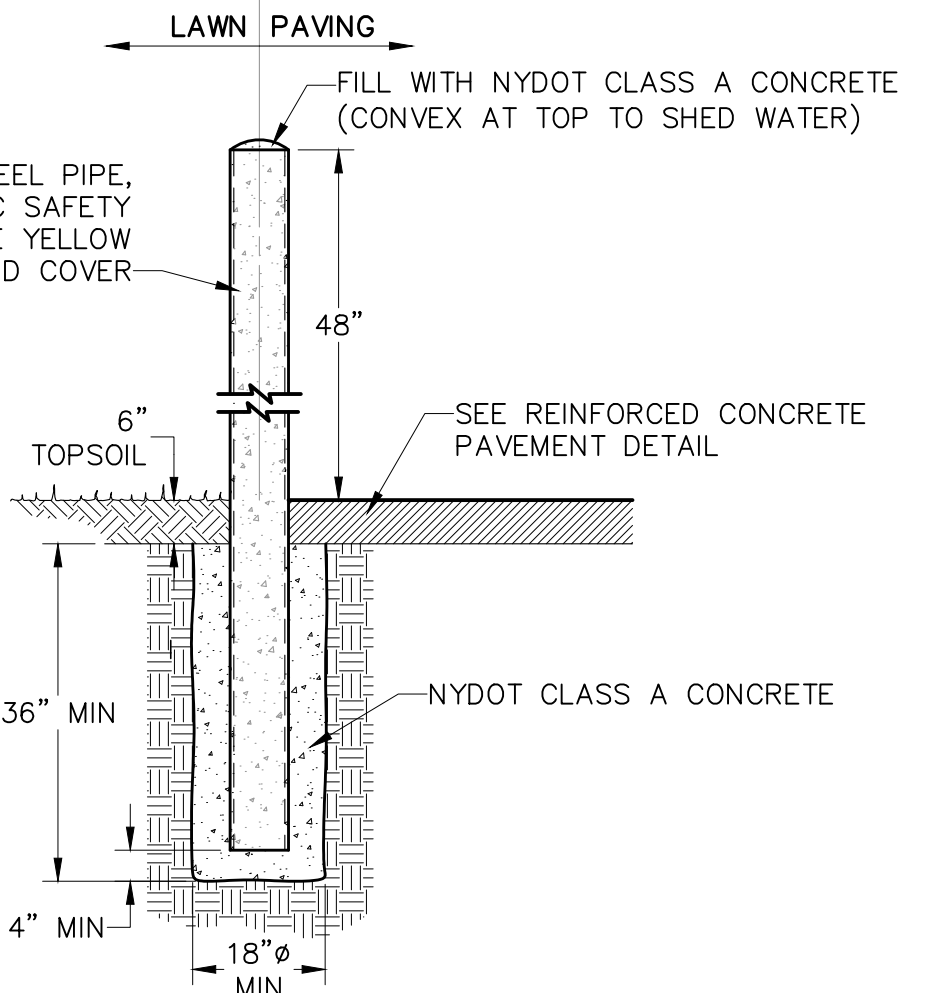
INSTALLATION DETAIL



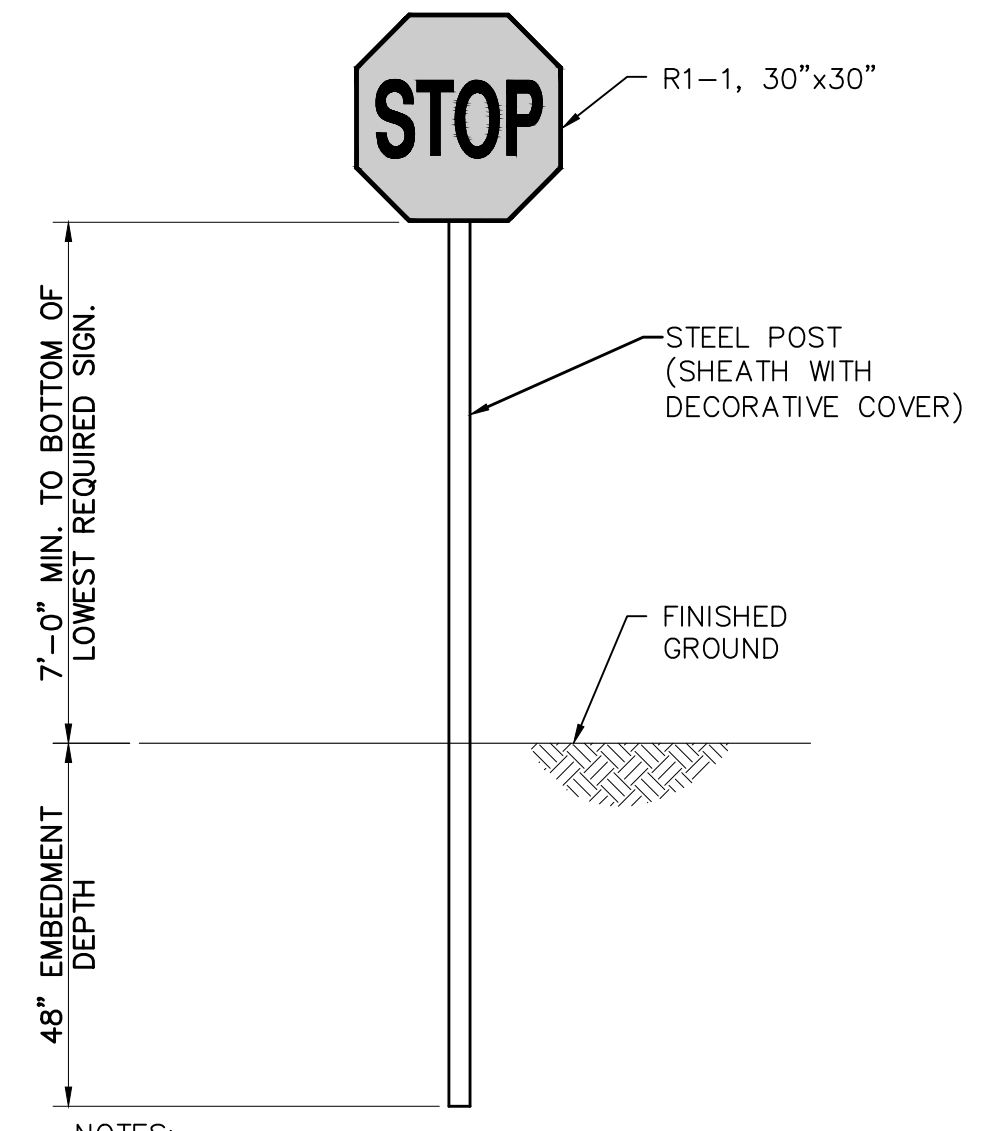
ANCHOR POST SECTION C-C

- NOTES:**
- REMOVE SOIL AS NECESSARY AT THE POST LOCATION TO ALLOW FOR FINAL ATTACHMENT OF THE SIGN POST TO THE ANCHOR POST.
 - DRIVE ANCHOR POST WITH A DRIVE CAP TO WITHIN APPROXIMATELY 12" ABOVE GROUND LEVEL. PLACE ONE (1) BOLT AND WASHER IN FIFTH HOLE FROM THE END OF THE EXPOSED ANCHOR POST. SECURELY TIGHTEN SPACER ONTO BOLT.
 - DRIVE ANCHOR POST TO 4" ABOVE GROUND LEVEL. PLACE REMAINING BOLT AND WASHER IN FIRST HOLE FROM THE END OF POST AND SECURELY TIGHTEN SPACER ONTO BOLT. (BOLTS 4" APART)
 - NEST TOP SIGN POST OVER PROTRUDING ANCHOR POST BOLTS THROUGH FIRST AND FIFTH HOLES OF TOP SIGN POST. THIS WILL RESULT IN A 6"± OVERLAP.
 - PLACE A LOCKNUT ON EACH BOLT. A STANDARD LOCKWASHER AND NUT MAY BE USED IN LIEU OF THE LOCKNUT. TIGHTEN BOLTS AND NUTS BY TURN-OF-NUT METHOD. BRING NUT TO A SNUG TIGHT CONDITION TO ENSURE THAT ALL PARTS ARE BROUGHT TOGETHER INTO FULL CONTACT WITH EACH OTHER, THEN TIGHTEN AN ADDITIONAL HALF OF A TURN.
 - RESTORE SOIL AROUND THE ANCHOR POST.

BREAK-AWAY SIGN POST
SCALE: NOT TO SCALE



BOLLARD
SCALE: NOT TO SCALE



"STOP" SIGN
SCALE: NOT TO SCALE

- NOTES:**
- PANELS ARE TO BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY. BOLT TO BREAKAWAY POST WITH 5/8" DIA. CADMIUM PLATED NUTS, BOLTS AND WASHERS.

NO.	DATE	INITIAL MUNICIPAL PERMIT SUBMISSION	COMMENTS
0	2024-06-26		

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

SITE DETAILS

LAND DEVELOPMENT PLANS

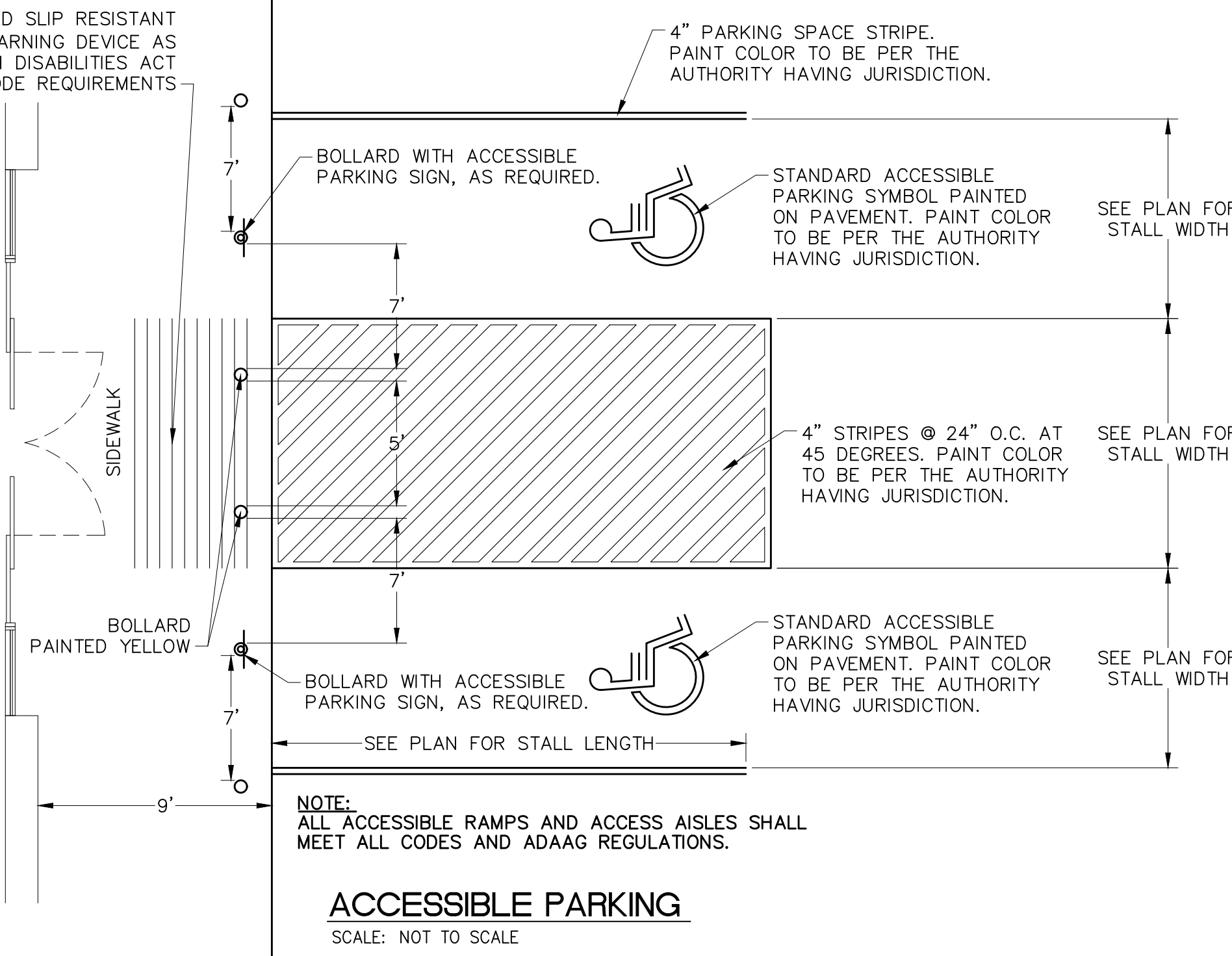
Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-302

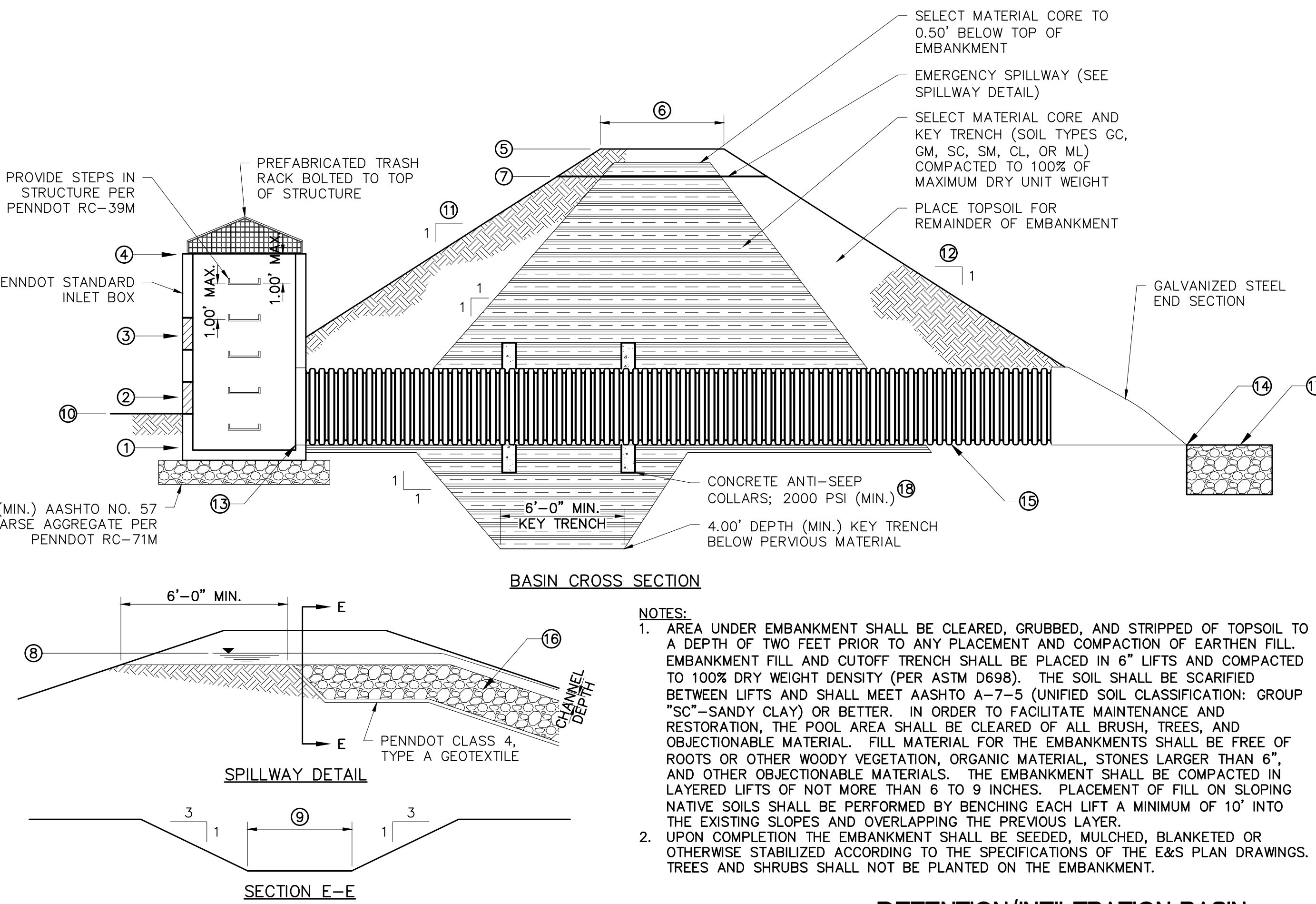
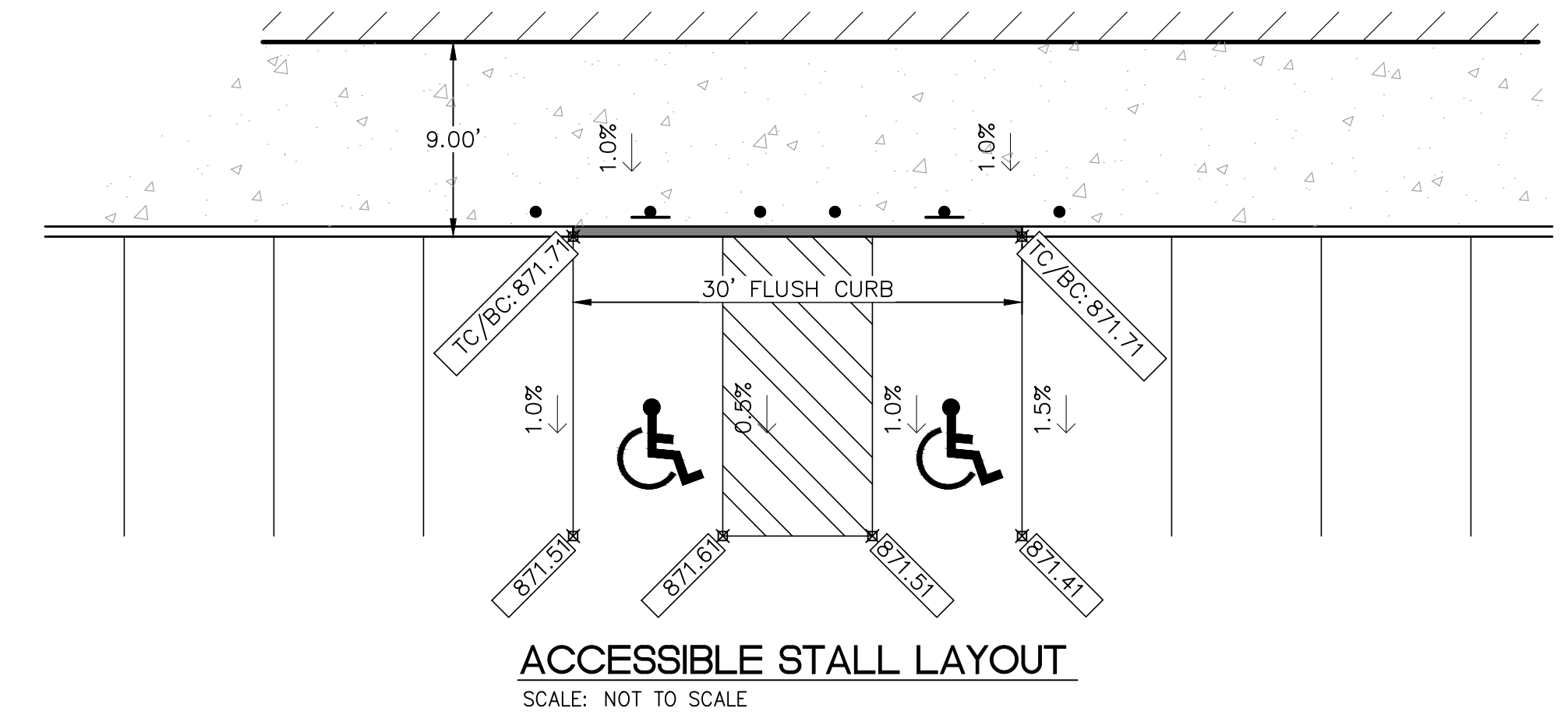
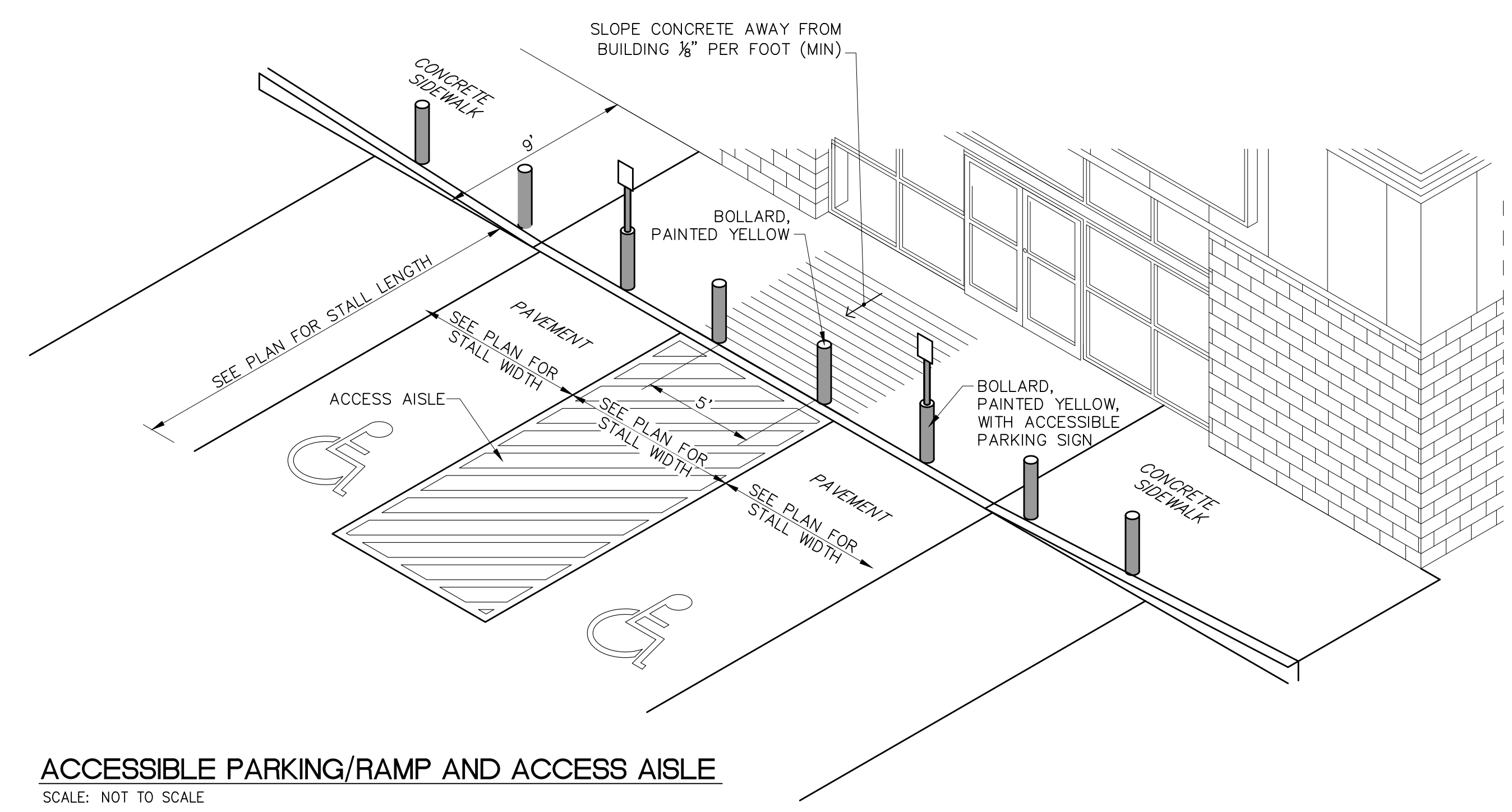
\\hdg\Projects\13459-014\10 - Site\hdg\13459-014 LD Plan Set.dwg, C-302, 6/26/2024 3:25:29 PM, Gengor, Coleman

COLORED TOOLED/SERRATED SLIP RESISTANT SURFACING AND/OR TACTILE WARNING DEVICE AS REQUIRED BY AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES AND CODE REQUIREMENTS

ACCESSIBLE/SHOPPING CART RAMP TO BE CENTERED ABOUT THE FRONT DOOR.

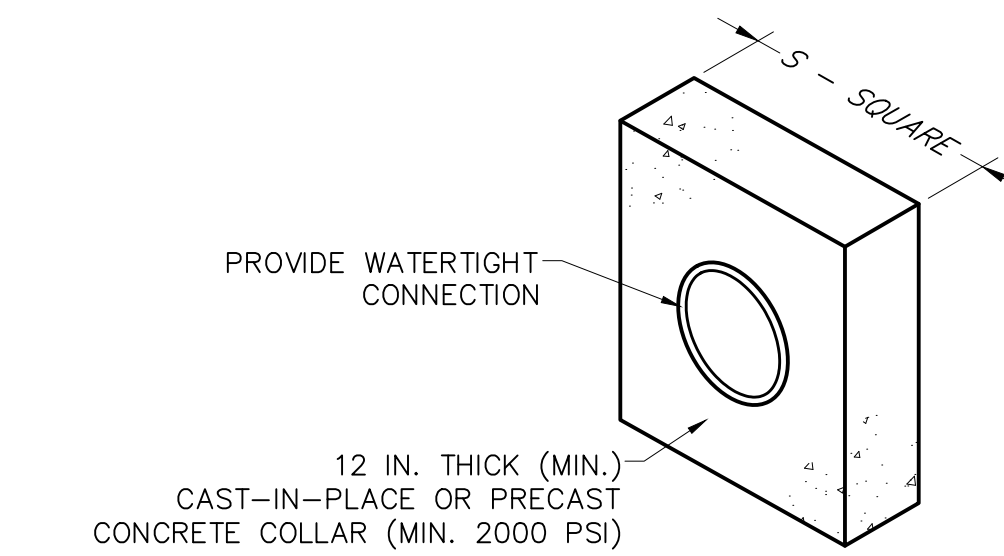


ACCESSIBLE PARKING/RAMP AND ACCESS AISLE
SCALE: NOT TO SCALE



BASIN FEATURE NUMBER	BASIN FEATURE DESCRIPTION	BASIN SUMMARY	
		BASIN 1A	
1	BOTTOM OF INLET STRUCTURE (FT)	868.45	
2	ORIFICE	RECTANGULAR 24" X 4" INVERT ELEV. 869.34'	
3	ORIFICE	N/A	
4	TOP OF INLET STRUCTURE (FT) (SEE NOTE 1)	870.0	
5	TOP OF BASIN EMBANKMENT (FT)	871.0	
6	TOP WIDTH OF BASIN (FT)	N/A	
7	EMERGENCY SPILLWAY ELEVATION (FT)	N/A	
8	100-YEAR PLUGGED FLOW ELEVATION (FT)	N/A	
9	EMERGENCY SPILLWAY WIDTH (FT)	N/A	
10	BOTTOM OF BASIN (FT)	868.5	
11	INSIDE BASIN SIDE SLOPE (Z:1)	3	
12	OUTSIDE BASIN SIDE SLOPE (Z:1)	N/A	
13	PIPE INVERT OUT OF INLET STRUCTURE	868.45	
14	PIPE INVERT OUT OF BASIN	866.89	
15	OUTLET PIPE	12" HDPE 113 LF @ 1.34%	
16	EMERGENCY SPILLWAY RIPRAP	N/A	
17	RIPRAP OUTLET	N/A	
18	ANTI-SEEP COLLARS	1 COLLAR 2'-0" SQ	

NOTE 1: THE TOP OF INLET STRUCTURE ELEVATION IS THE TOP OF THE TRASH RACK MOUNTING FRAME OR THE POINT WHERE WATER ACTUALLY FLOWS OVER THE TOP OF THE INLET STRUCTURE. IT IS NOT NECESSARILY THE TOP OF THE CONCRETE STRUCTURE.

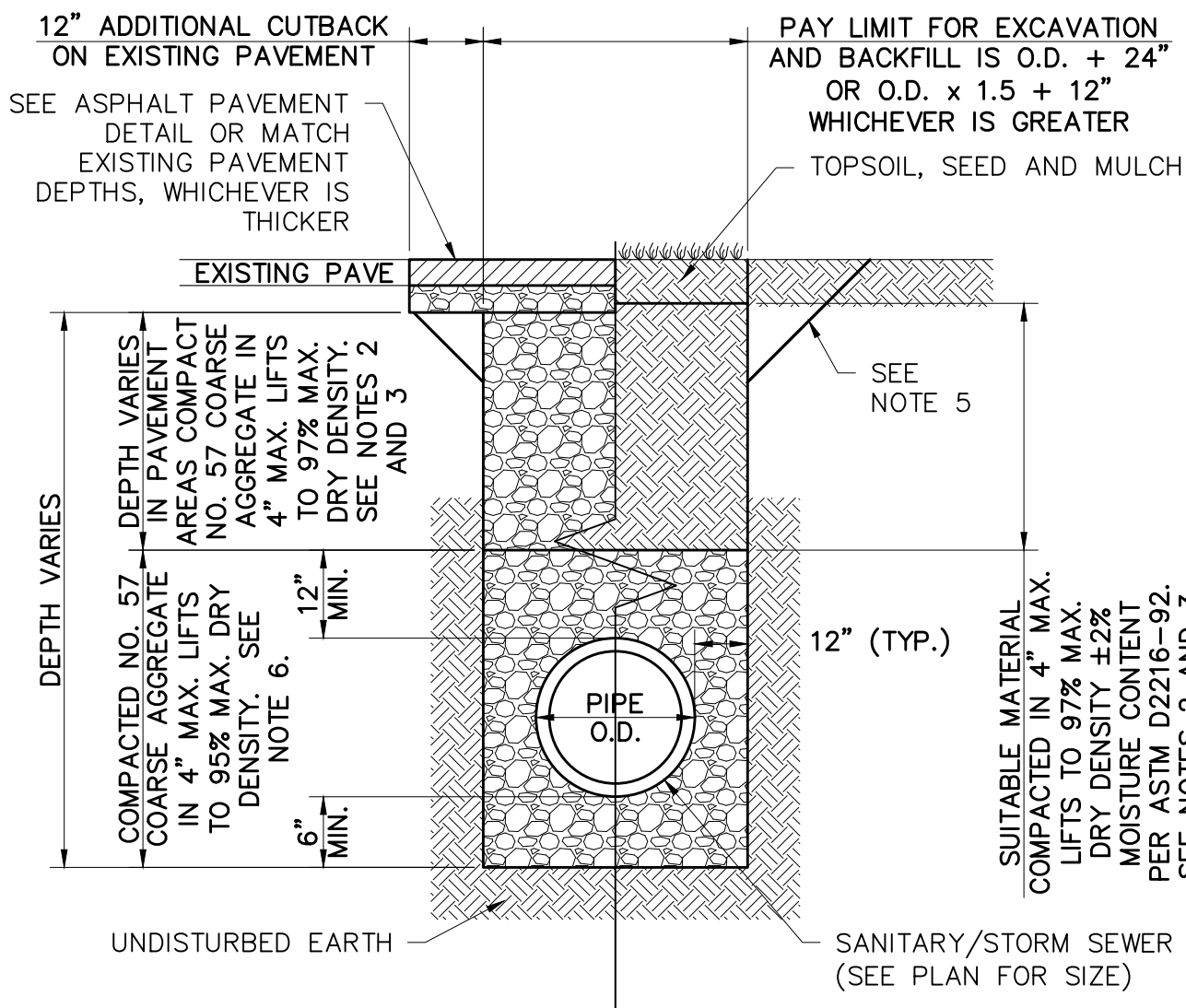


BASIN OR TRAP NO.	PIPE SIZE (IN)	S	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
1	12	24	1	8'	N/A

NOTES:
1. ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
2. COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

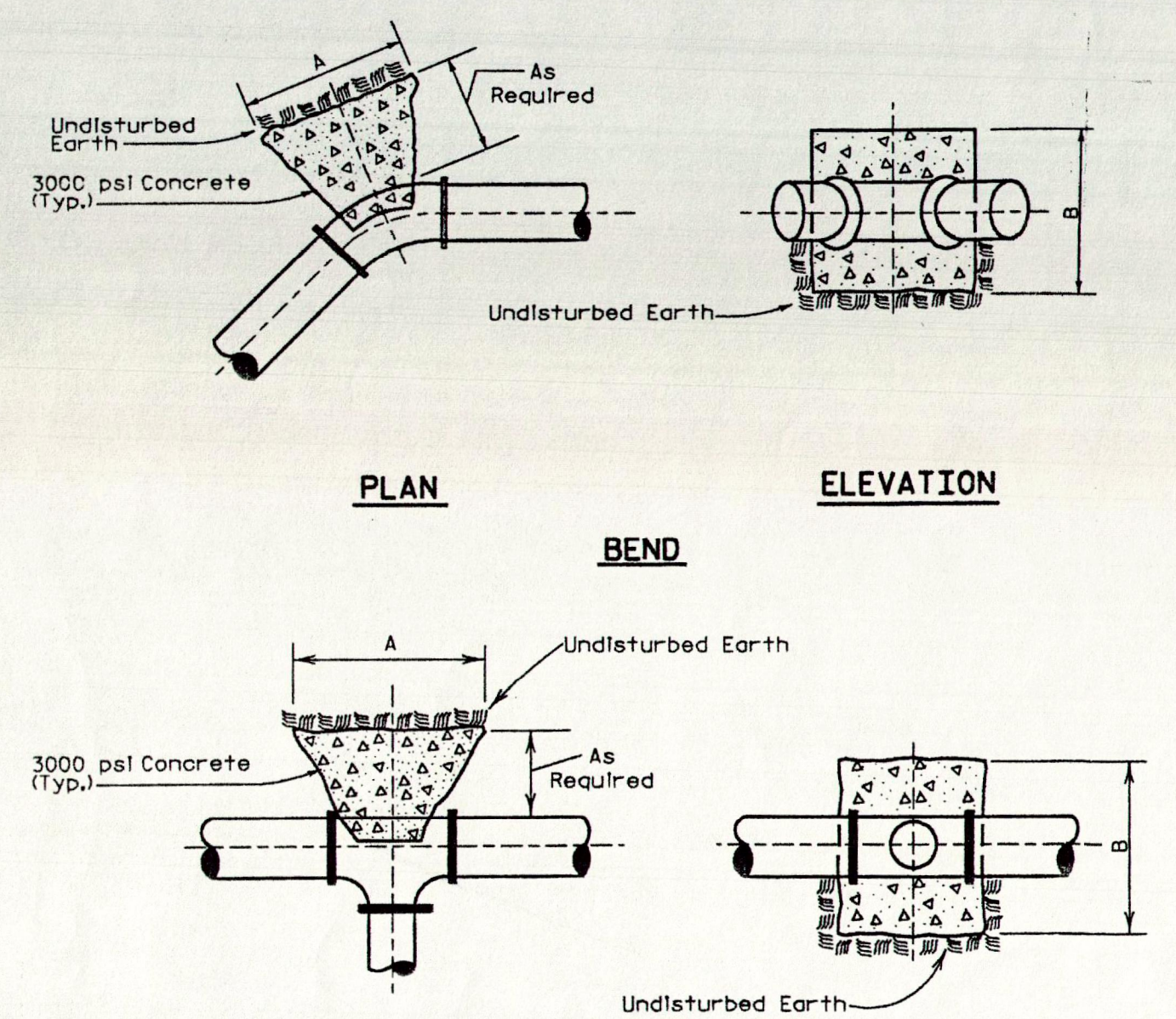
CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS
SCALE: NOT TO SCALE

MARK	DATE	COMMENTS
0	2024-06-26	INITIAL MUNICIPAL PERMIT SUBMISSION



- NOTES:**
- SUITABLE MATERIAL IS MATERIAL CONTAINING NO DEBRIS, ORGANIC MATTER, FROZEN MATERIAL OR LARGE STONES WITH A DIAMETER GREATER THAN ONE-HALF THE THICKNESS OF THE COMPACTED LAYERS BEING PLACED.
 - PLACEMENT OF BACKFILL IN LIFTS UP TO 8" THICK IS PERMISSIBLE WHEN USING VIBRATORY COMPACTION EQUIPMENT. USE MECHANICAL TAMPERS OR OTHER ACCEPTABLE COMPACTION EQUIPMENT WITH CONSISTENT APPLICATION FORCE THAT WILL NOT DAMAGE THE PIPE.
 - COMPACT THE TOP 3' OF BACKFILL MATERIAL TO 100% STANDARD PROCTOR DENSITY.
 - SAWCUT EXISTING PAVEMENT AS REQUIRED. SAWCUTTING IS INCIDENTAL TO THE PAVEMENT BASE COURSE REPAIRS. APPLY ASPHALT TACK COAT TO VERTICAL FACE OF SAWCUT AREAS (TYP.).
 - FOLLOW OSHA SAFETY REQUIREMENTS FOR SLOPE LAYBACKS OR PROVIDE SHORING AS REQUIRED.

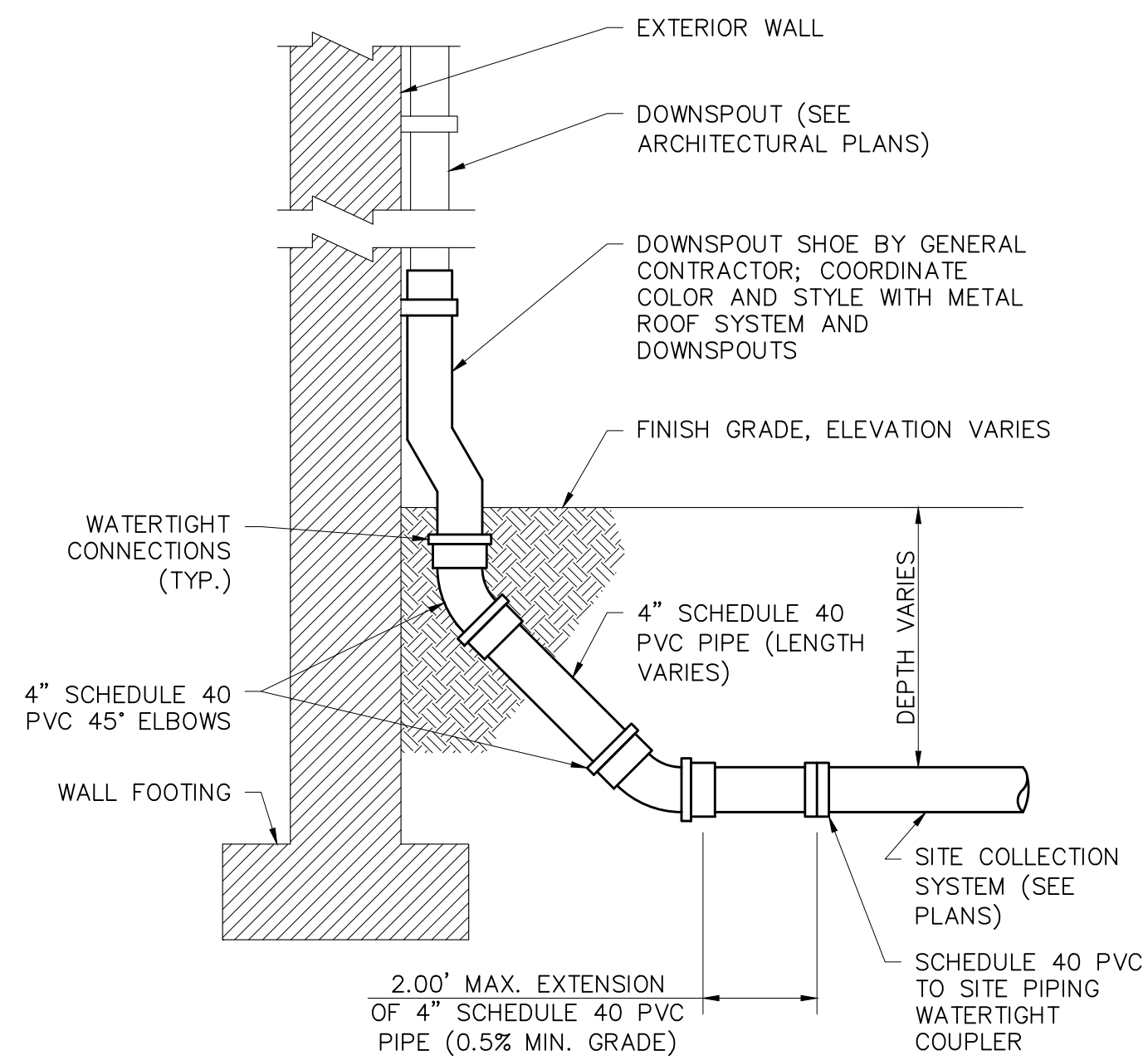
SANITARY/STORM SEWER TRENCH RESTORATION
SCALE: NOT TO SCALE



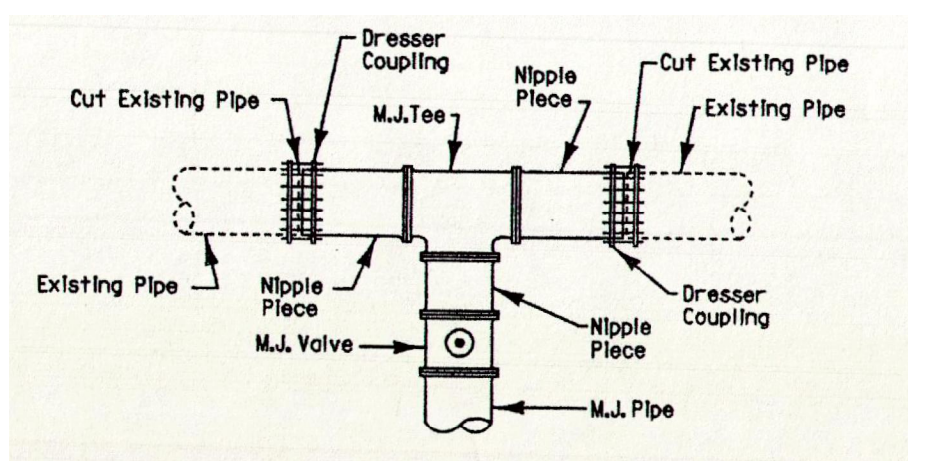
THRUST BLOCK NOTES

- Concrete not to overlap any joint.
- Concrete to be placed so as not to interfere with removing or installing any of the jointing hardware.

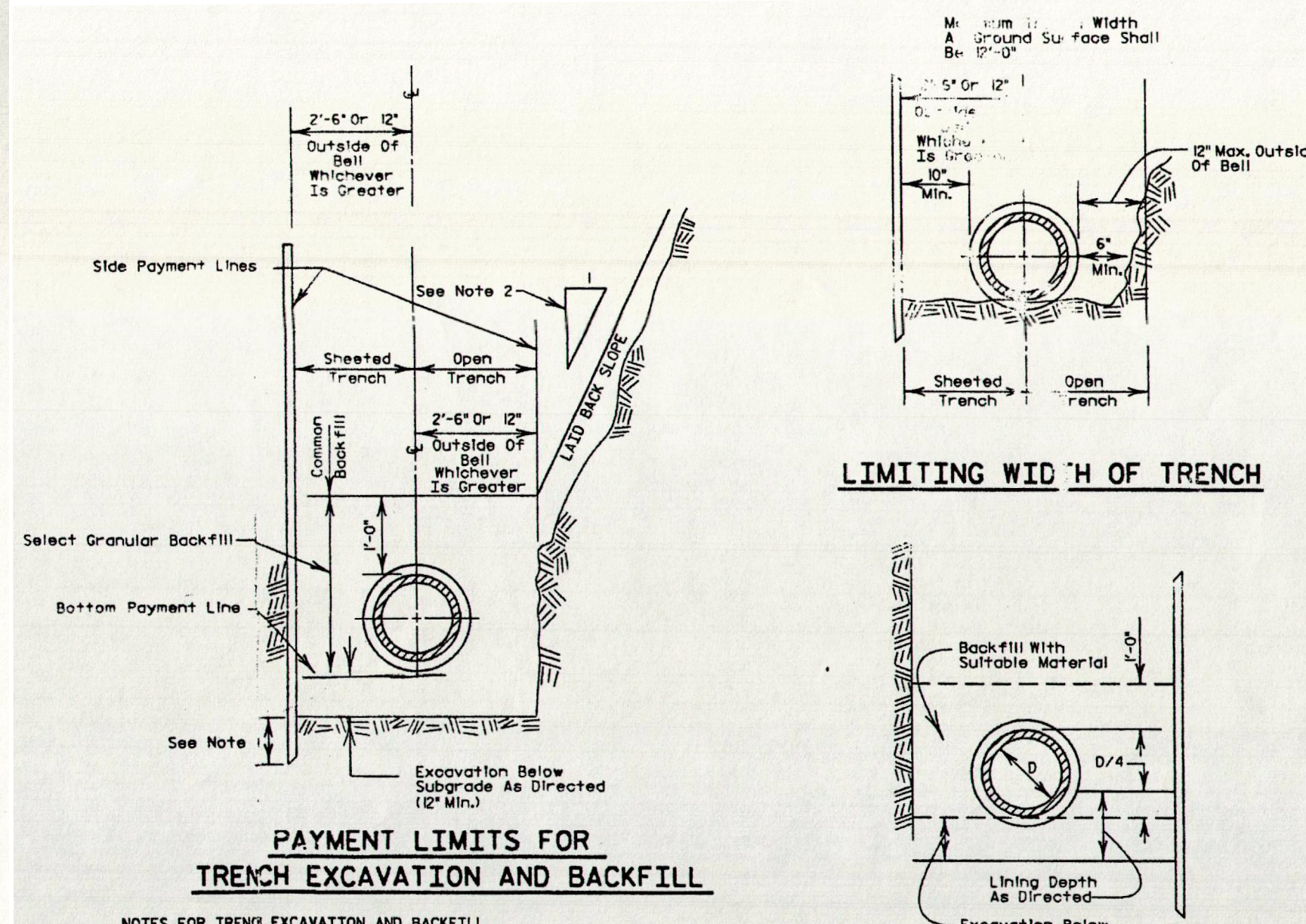
Size	CONCRETE ANCHOR & THRUST BLOCK DIMENSIONS																				
	24"			16"			12"			10"			8"			6"			4"		
Dimensions	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C
Bend	90°	8'-2"	6'-0"	5'-10"	5'-10"		3'-6"	3'-6"		2'-11"	2'-11"		2'-4"	2'-4"		1'-6"	1'-6"		1'-2"	1'-2"	
	45°	5'-2"	5'-2"	3'-5"	3'-5"		2'-6"	2'-6"		1'-9"	1'-9"		1'-0"	1'-0"		0'-11"	0'-11"		0'-10"	0'-10"	
	22 1/2°	4'-9"	4'-9"	2'-6"	2'-6"		1'-10"	1'-10"		1'-6"	1'-6"		1'-0"	1'-0"		0'-11"	0'-11"		0'-10"	0'-10"	
	11 1/4°	2'-8"	2'-8"	1'-8"	1'-8"		1'-4"	1'-4"		1'-2"	1'-2"		1'-0"	1'-0"		0'-11"	0'-11"		0'-10"	0'-10"	
D.I. Anchor	7'-0"	7'-0"	1'-0"	7'-0"	6'-0"	1'-0"	7'-0"	4'-0"	1'-0"	6'-0"	3'-0"	1'-0"	3'-4"	2'-6"	1'-0"	4'-6"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"
S.S.V. Tee Branch Size	6'-0"	6'-0"		4'-0"	4'-0"		3'-0"	3'-0"		2'-6"	2'-6"		2'-0"	2'-0"		1'-10"	1'-10"		1'-0"	1'-0"	
Reducer 12" x										2'-6"	2'-6"		1'-2"	3'-8"	3'-8"	1'-2"	4'-0"	4'-0"	1'-2"	4'-6"	4'-6"
	10" x																				
	8" x																				
	6" x																				



TYPICAL BUILDING DOWNSPOUT
SCALE: NOT TO SCALE



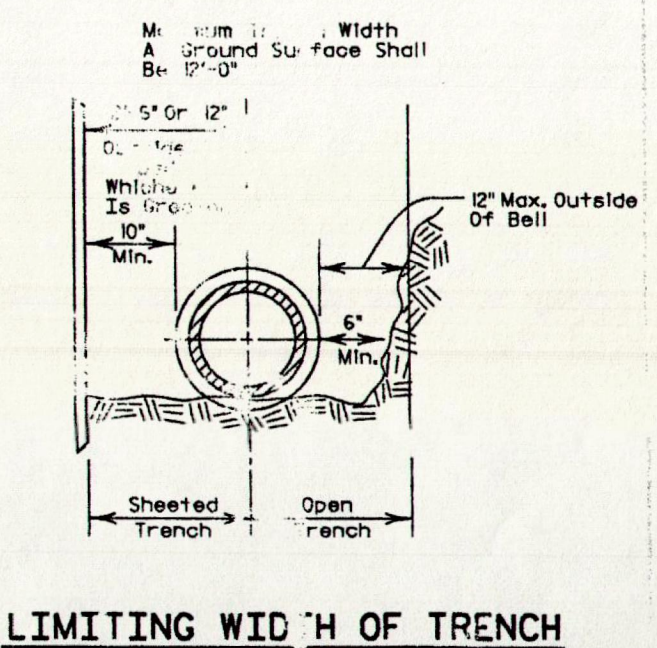
TYPICAL CONNECTION TO EXISTING PIPING DETAIL



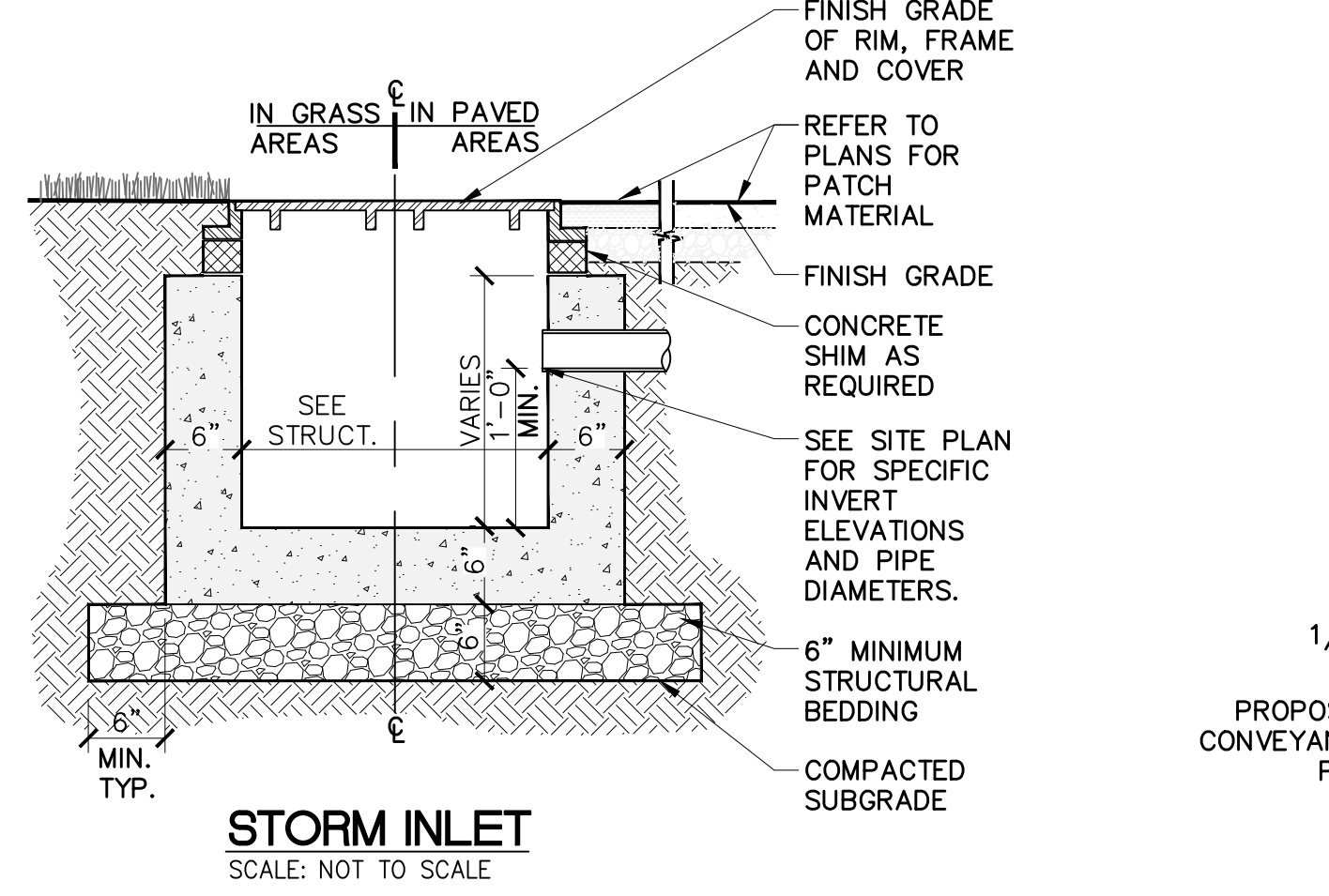
NOTES FOR TRENCH EXCAVATION AND BACKFILL

- DEPTH OF MEETING SHALL BE ADEQUATE IN ORDER TO STABILIZE THE TRENCH.
- LADZ BACK SLOPES SHALL BE IN CONFORMANCE WITH O.S.H.A. STANDARDS.

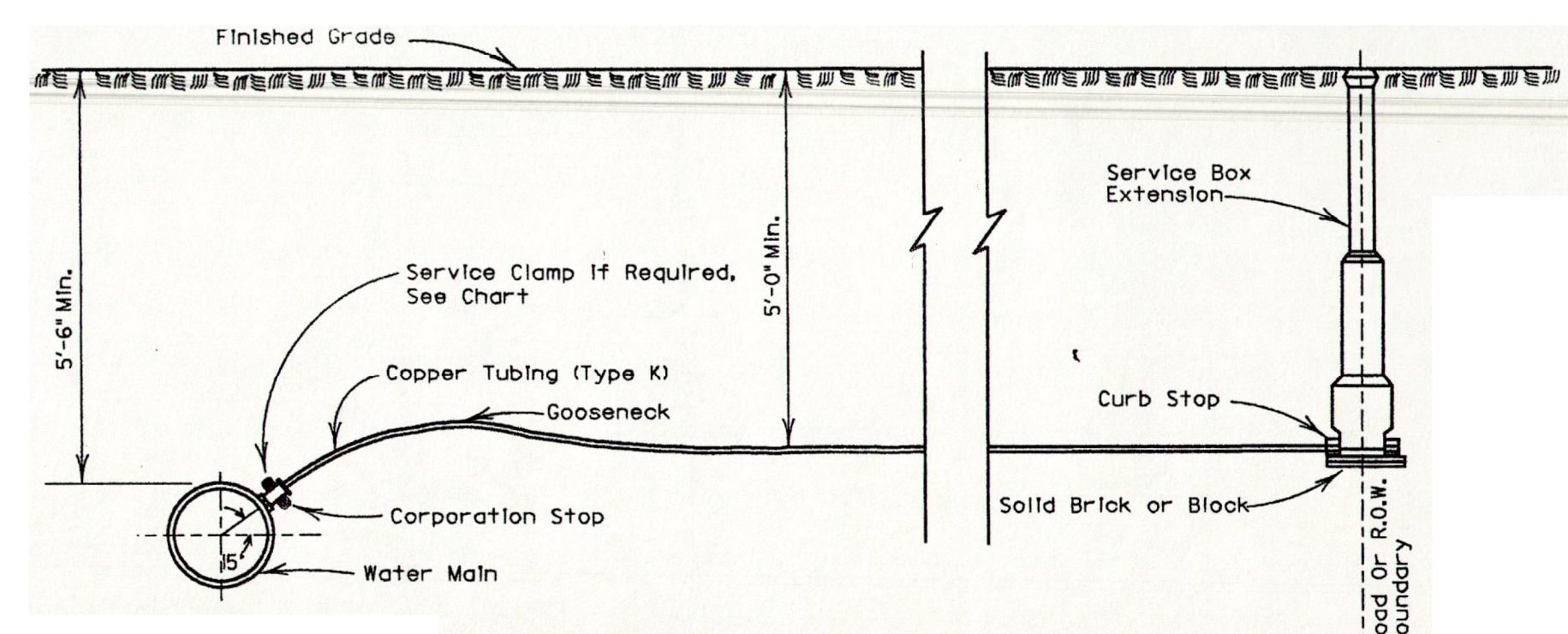
TYPICAL TRENCH SECTION FOR DUCTILE IRON PIPE



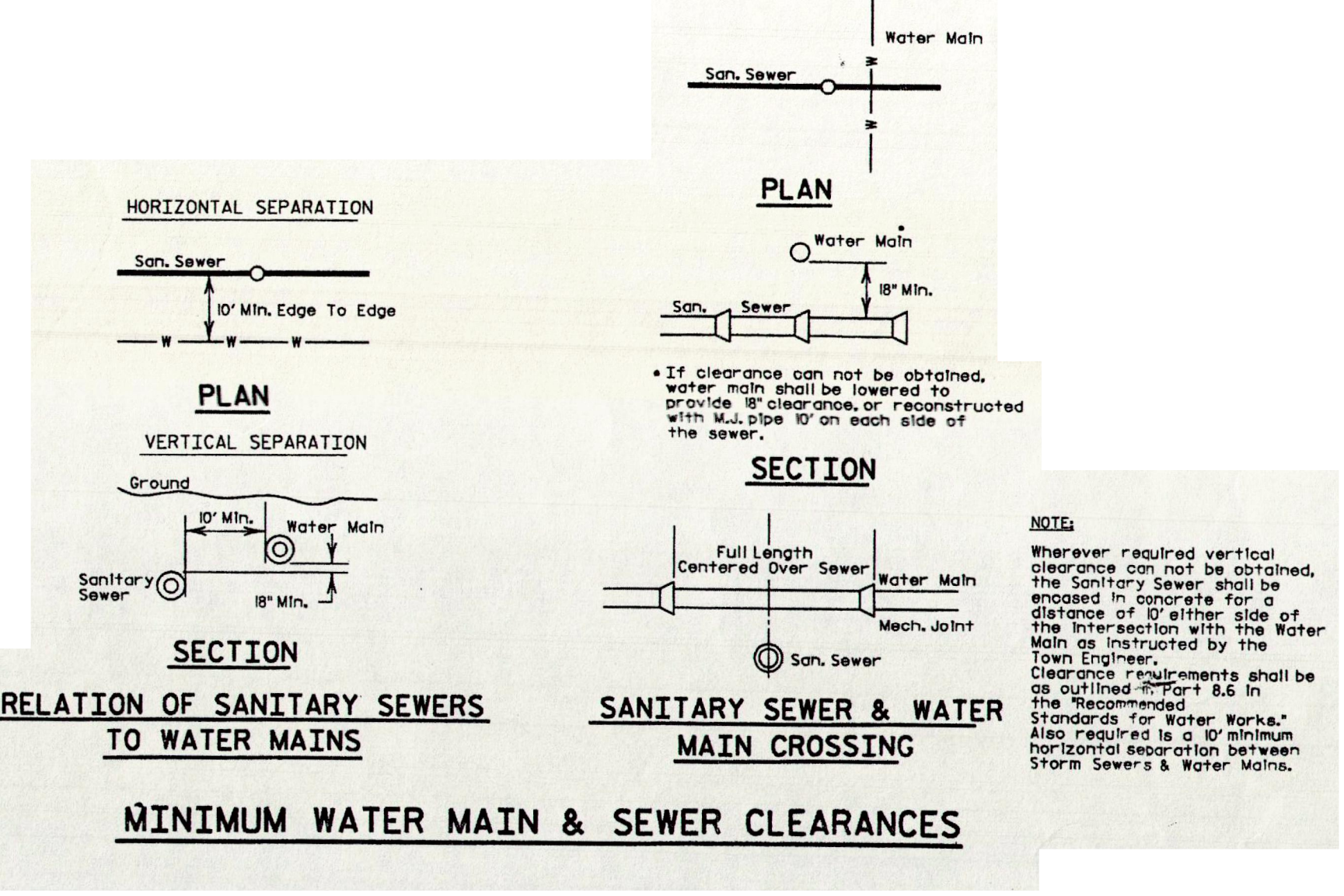
LIMITING WIDTH OF TRENCH



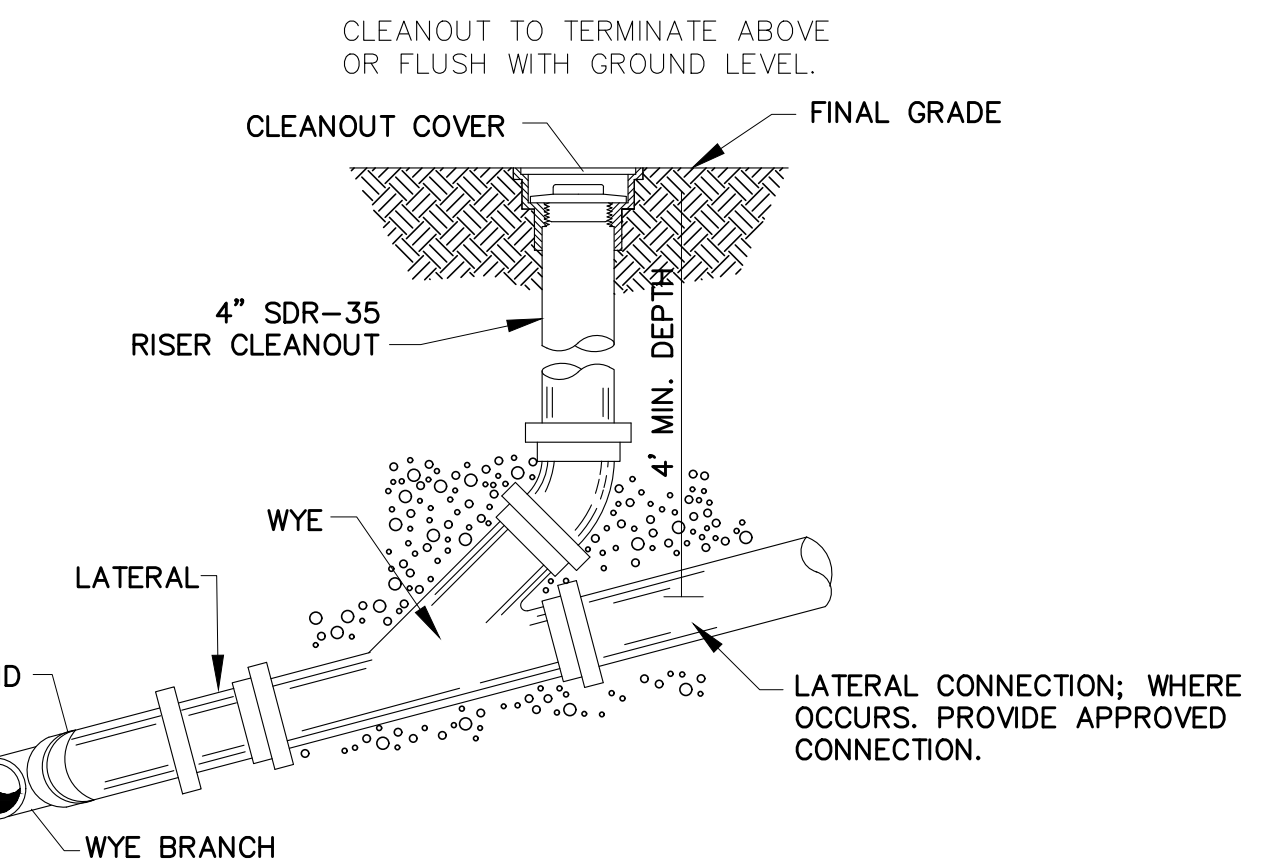
STORM INLET
SCALE: NOT TO SCALE



TYPICAL SERVICE CONNECTION



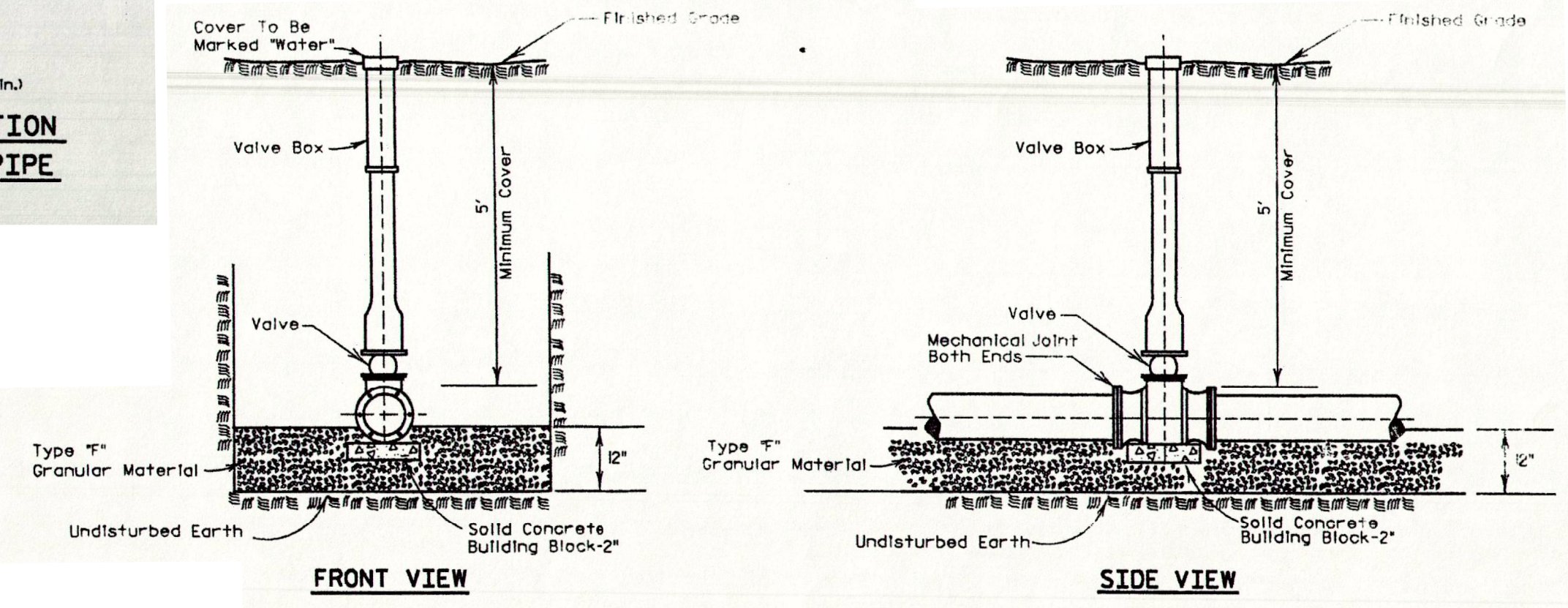
RELATION OF SANITARY SEWERS TO WATER MAINS
MINIMUM WATER MAIN & SEWER CLEARANCES



NOTES:

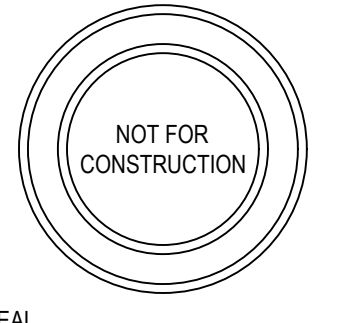
- ALL LATERALS TO BE A MINIMUM OF 1.00% SLOPE UNLESS OTHERWISE DIRECTED.
- PROVIDE LATERAL CLEANOUT AT CONNECTION POINT ADJACENT TO BUILDING LINE FOR ALL RAIN WATER CONNECTION POINTS.
- PROVIDE LATERAL CLEANOUT AT LOCATIONS SHOWN ON PLAN FOR SANITARY SEWER PIPING.

LATERAL CONNECTION AND CLEANOUT
SCALE: NOT TO SCALE



STANDARD FOR VALVE INSTALLATION

NOTE: All valves and curb boxes shall be marked with 2 x 4's extending 4 feet above finished grade. The top of the 2 x 4 shall be painted a spray blue.



MARK	DATE	COMMENTS
0	2024-06-26	INITIAL MUNICIPAL PERMIT SUBMISSION

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

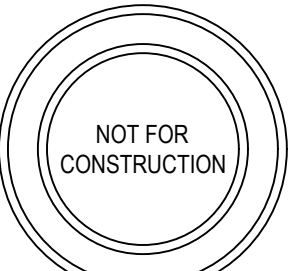
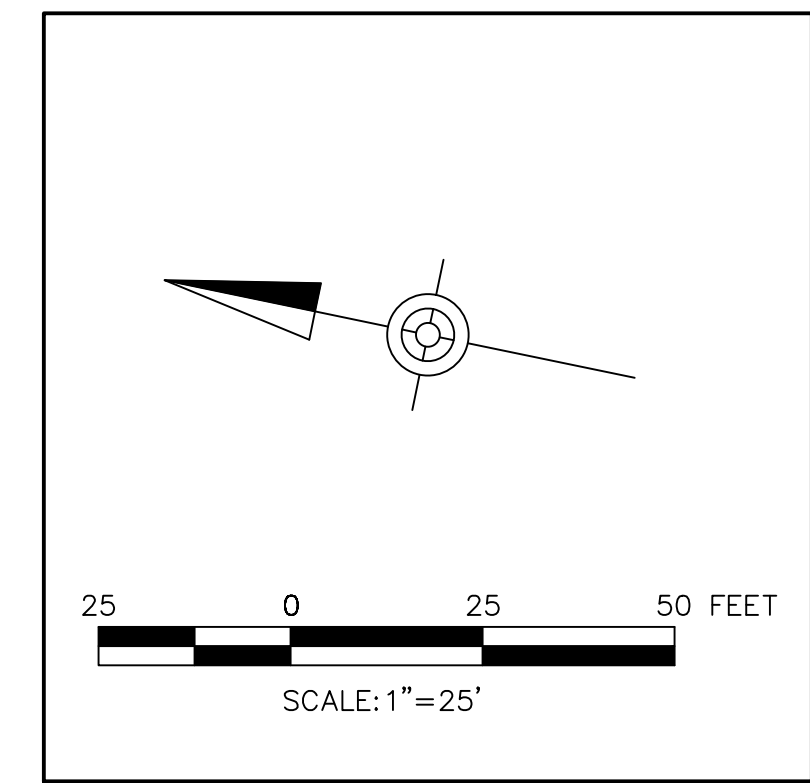
UTILITY DETAILS
LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-304

NOT FOR CONSTRUCTION

- FEATURES TEXT
- PROPOSED LIMIT OF DISTURBANCE: LOD
 - NPDES PERMIT BOUNDARY: PERMIT
 - SOILS BOUNDARY: HHC2
 - SOIL TYPE: HHC2
 - DRAINAGE DIVIDES: ---
 - ROCK CONSTRUCTION ENTRANCE: RCE
 - INLET PROTECTION: IP



SEAL

MARK	DATE	INITIAL MUNICIPAL PERMIT SUBMISSION	COMMENTS
0	2024-06-26		

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
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DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
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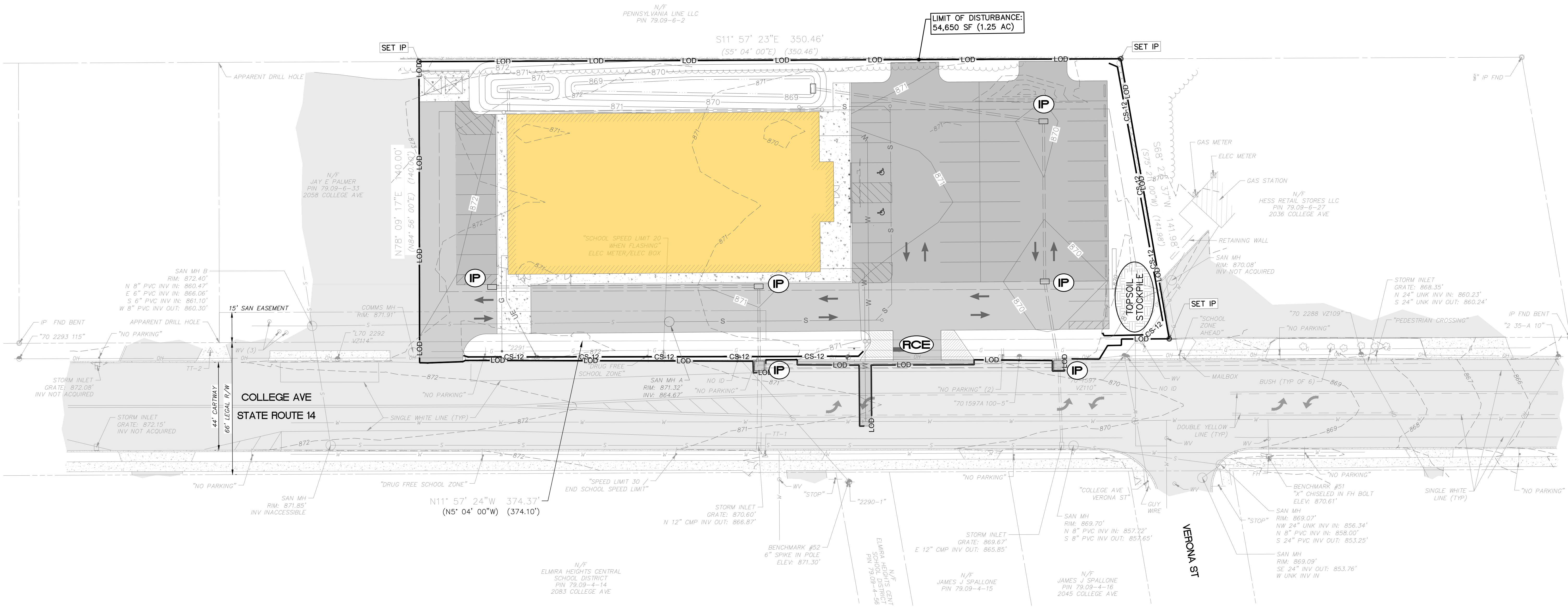
EROSION AND SEDIMENT CONTROL PLAN

LAND DEVELOPMENT PLANS

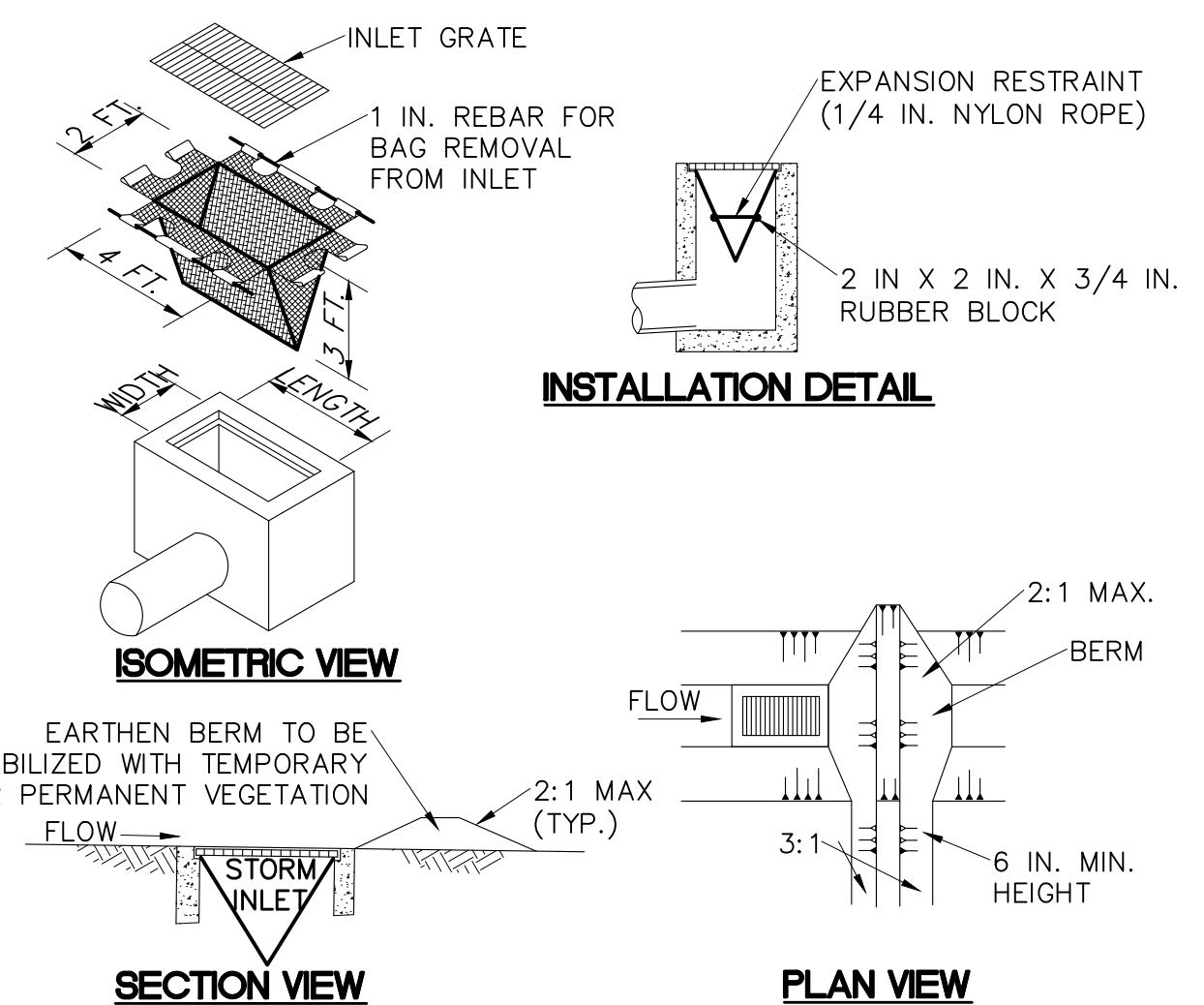
Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-401

NOT FOR CONSTRUCTION

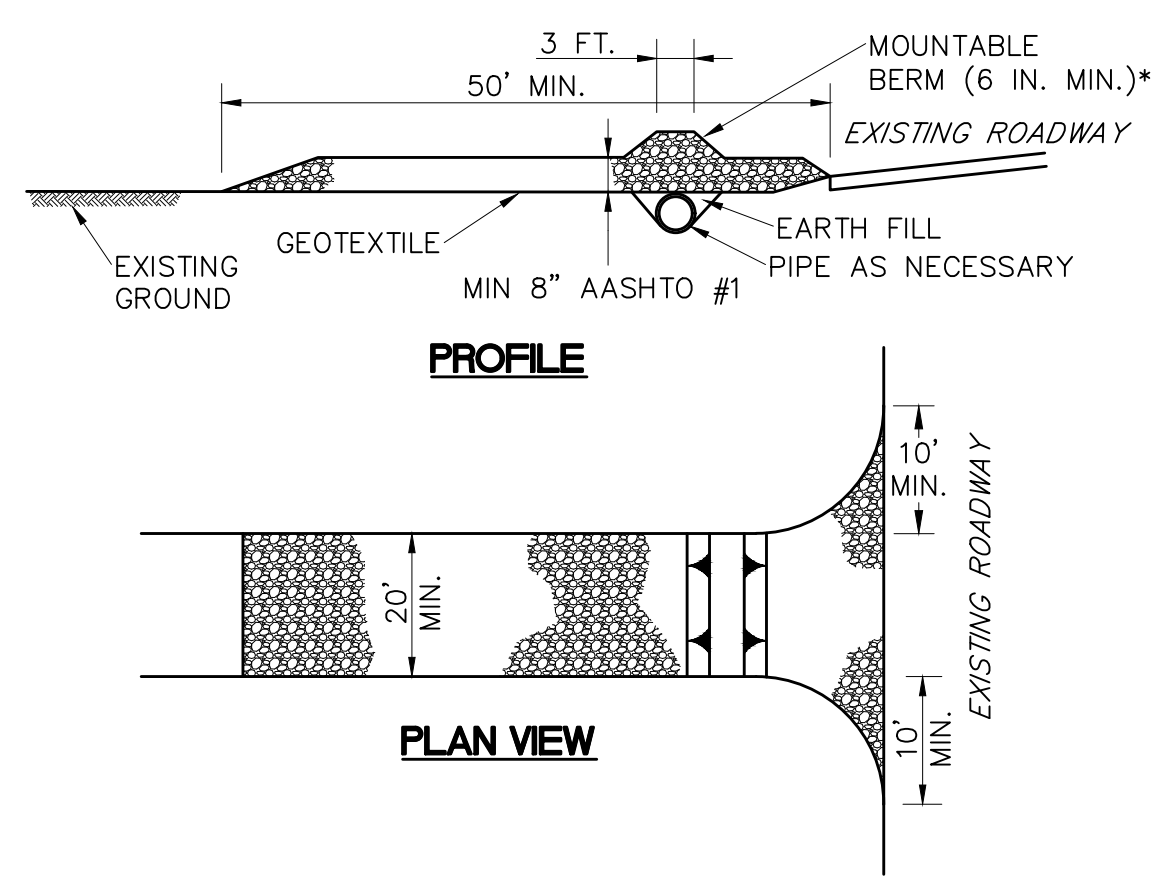


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- NOTES:**
1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 3. ROLLED EARTHEN BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
 4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 6. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

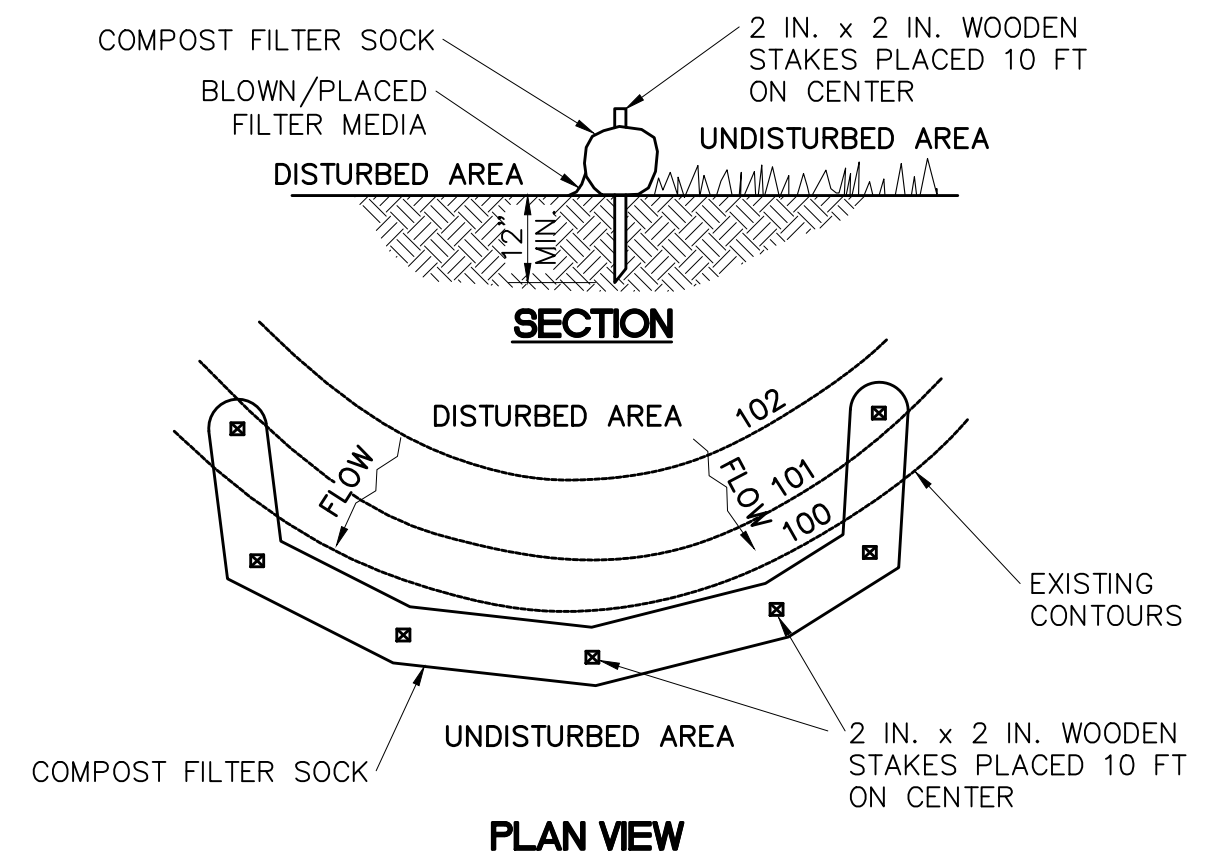
FILTER BAG INLET PROTECTION - TYPE M INLET
SCALE: NOT TO SCALE



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

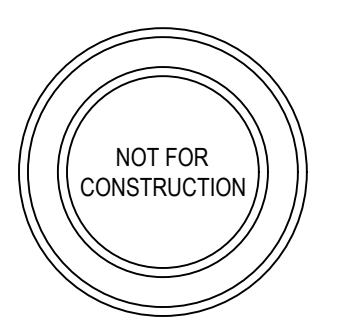
- NOTES:**
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY FIFTY (50) FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY, OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



- NOTES:**
1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. SELECT THE SOCK FABRIC MATERIAL TYPE THAT IS APPROPRIATE FOR THE TIME THE SOCK WILL BE IN PLACE BASED ON THE CONTRACTORS APPROVED CONSTRUCTION SCHEDULE OR AS OTHERWISE SPECIFIED. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST EIGHT (8) FEET UP SLOPE AT FORTY-FIVE (45) DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED OF IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 5. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN TWENTY-FOUR (24) HOURS OF INSPECTION.
 6. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER SIX (6) MONTHS; PHOTODEGRADABLE SOCKS AFTER ONE (1) YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND REMOVED AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK
SCALE: NOT TO SCALE



MARK	DATE	COMMENTS
0	2024-06-26	INITIAL MUNICIPAL PERMIT SUBMISSION

MSP DEVELOPMENT, LLC
2009 MACKENZIE WAY, SUITE 100
CRANBERRY TWP, PA 16066

DOLLAR GENERAL STORE - ELMIRA HEIGHTS
2048 COLLEGE AVE
ELMIRA HEIGHTS, NY 14903

EROSION AND SEDIMENT CONTROL DETAILS

LAND DEVELOPMENT PLANS

Date: 2024-06-26
Project No.: 13459-014
Sheet No.:

C-402

NOT FOR CONSTRUCTION

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