

RECEIVED 5-6-2020

Chemung County Planning Board

Chemung County Commerce Center
400 East Church Street
P.O. Box 588
Elmira, New York 14902-0588

(607) 737-5510

www.chemungcountyny.gov
planning@co.chemung.ny.us



Referral Number
For office use only

Chemung County Planning Board – Municipal Referral Form

(Please complete all information on both pages)

Referring Municipality: City Town Village of Southport

Referring Official: Pete Rocchi Title: Code Enforcement Officer

Address: 1139 Pennsylvania Ave

Phone Number: 607-737-5268 E-mail: PRocchi@townofsouthport.com

Referring Board (check appropriate box): Legislative Board ZBA Planning Board

Petitioner(s): PTV 1454 LLC Phone: 1-724-420-5367

Petitioner's Mailing Address: 400 Penn Center Blvd Building 4, Suite 1000 Pittsburgh, PA 15235 E-mail: ben.syput@penntrexventures.com

Location of Property: 1546 Cedar Street Elmira, NY 14904

Tax Map Parcel Number(s): 109.12-1-10

Current Zoning District: C-2 General Commercial

Proposed Action: (check all that apply)

- | | |
|--|--|
| <input type="checkbox"/> Area Variance | <input type="checkbox"/> Subdivision Review |
| <input type="checkbox"/> Use Variance | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Zoning Text Amendment |
| <input type="checkbox"/> Special/Conditional Use Permit | <input type="checkbox"/> Zoning Map Amendment |
| <input type="checkbox"/> Comprehensive Plan Adoption / Amendment | <input type="checkbox"/> Moratorium |
| <input type="checkbox"/> Other (please specify): _____ | |

Description of the proposed action (attach detailed narrative if available):

Construct a 9,100 sf commercial retail building with parking and stormwater facilities

The proposed action applies to real property within five hundred feet (500') of the following

(Please identify each item by filling in the appropriate blank after each item)

(a) Boundary of the (City), (Village) or (Town) of: _____

(b) Boundary of any existing or proposed (County) or (State Park) or any (Other Recreation Area): _____

(c) Right-of-way of any existing or proposed (County) or (State Parkway), (Thruway), (Expressway), (Road) or (Highway); (Include (County) or (State Route) # and name of (Road): Route 427, Cedar Street, ...

(d) Existing or proposed right-of-way of any stream or drainage channel owned by the (County) or for which the county has established channel lines: _____

(e) Existing or proposed boundary of any (County) or (State) owned land on which a public building or institution is situated: _____

(f) The boundary of a farm operation located in an agricultural district, as defined by article twenty-five-AA of the agriculture and markets law (this subparagraph shall not apply to the granting of area variances: _____)

Hearings/Meetings Schedule

Board	Public Hearing Date	Meeting Dates (prior and future)
Town Board/Village Board of Trustees		
Zoning Board of Appeals		
Planning Board/Planning Commission	<u>1/5/26, 2/2/26, 3/2/26</u>	<u>4/6/26</u>
City Council		

Action taken on this application (reviewed, approved, discussed, etc.) reviewed, discussed, referred to county planning

"Full Statement" Checklist

As defined in NYS General Municipal Law §239-m (1)(c)

Please make sure you have enclosed the following required information with your referral, as appropriate.

For All Actions:

- Chemung County Planning Board – Municipal Referral Form
- All application materials required by local law/ordinance to be considered a "complete application" at the local level (PDF preferred).
- Part 1 Environmental Assessment Form (EAF) or Environmental Impact Statement (EIS) for State Environmental Quality Review (SEQR). If Type II Action, provide a statement to that effect.
- Agricultural Data Statement, for site plan review, special/conditional use permit, use variances, or subdivision review located in an Agricultural District or within 500 feet of a farm operation located in an Agricultural District, per Ag. Districts Law Article 25AA §305-a, Town Law §283-a, and Village Law §7-739.
- Municipal board meeting minutes on the proposed action (PDF preferred).

For Proposing or Amending Zoning Ordinances or Local Laws: The above requirements AND

- Report/minutes from Town Board, Village Board or Trustees or Planning Board (PDF preferred)
- Zoning Map
- Complete text of proposed law, comprehensive plan, or ordinance (PDF preferred)

Deadline: Please submit completed referrals by close of business 10 business days prior to the Chemung County Planning Board meeting.



TOWN OF SOUTHPORT

1139 Pennsylvania Avenue, Elmira, NY 14904

607.737.5268

www.townofsouthport.com

Site Plan Review Procedure

Site Plan procedure requires a Public Hearing to be held. Procedure on what you will need to do for the Public Hearing will be provided to you. The Town will also post a sign on the site plan property stating the date and time of the Public Hearing. It will take at least two meetings before you will have the Planning Boards decision on your application. Please follow the procedure listed below.

If the Site Plan application is approved, a Building Permit is required for any construction, renovations, or alterations. All commercial projects will require stamped architect prints. Discuss your project fully with the Code Enforcement Officer.

The Planning Board, subject to the approval of the Town Board, may require an applicant for site plan review to deposit in an escrow account a reasonable amount established by the Planning Board to pay the fees and/or costs of any consultant, engineer, or attorney designated by the Town Board to review the application. The fees and/or costs charged by such consultant, engineer, or attorney in connection with such review will be charged against the sum deposited in escrow. If specific circumstances warrant it, additional funds will be required to be deposited in order to cover reasonable expenses incurred beyond the original estimate. Any amount remaining shall be returned to the applicant within 45 days of final action on the application. Payment to the escrow account, if required, is a prerequisite to a complete application, and no review will be initiated until payment is received. The deposit specified above does not include all approvals or fees required from or by agencies other than the Town, costs associated with extensions to districts to provide necessary services to the proposal nor fees charged by Town departments or boards for permits, approvals, hearings, or other actions, except as noted above. (Town Code §525-65 Professional assistance)

1. Fill out attached Site Plan application.
2. Write a letter to the Planning Board explaining your site plan request.
3. Fill out attached State Environmental Assessment (SEQR) form.
4. Submit a property survey map depicting all Bulk & Density requirements and actual dimensions. Major projects will require full Site Plan drawings.
5. If you do not own the property, provide a letter from the Owner giving you permission for your project. If you are buying the property, provide copy of purchase offer agreement (cost may be redacted).
6. Application fee. Make check payable to "Town of Southport".
\$150.00 Minor Site Plan Review \$300.00 Major Site Plan Review

Submit all paperwork to our office by the 3rd Wednesday of the month. 11/19/2025
(Incomplete or late Applications will be put on the next agenda.)

First meeting is at 7:00 p.m. at the Town Hall on 12/1/2025

(You or your representative must attend all meetings.)

Some applications may need to be referred to the Chemung County Planning Board.

ACKNOWLEDGEMENT

I/we hereby certify that I/we have read the instructions and received a copy. I/we understand that a provision of laws and ordinances covering this application will be complied with whether specified or not. Instructions specified here do not presume to give authority to violate or cancel provisions of any other law or local law regulating this application and/or construction or performance of construction relating to this application. I/we understand that this application may require additional fees and expenses, at my/our expense, for preparation of necessary environmental, engineering and planning studies. I/we understand that I/we cannot operate or start the project applied for herein until such time as the Town of Southport grants approval and all necessary permits are secured.

Applicant signature Ben Syput Date 10/8/2025

Address 400 Penn Center Blvd, Building 4, Suite 1000 Pittsburgh PA 15235

Phone 724-420-5367

Email ben.syput@penntexventures.com



SITE PLAN APPLICATION

PROJECT INFORMATION

Name of Proposed Development Site Plan for Dollar General		Date	10/15/2025
Address 1546 Cedar Street, Elmira, NY 14904			
Tax Map # 109.12-1-10		Zoning District C-2 General Commercial	
Setbacks	Front 15'	Side 5'	Rear 20'
Describe Project The purpose of the project consists demo of existing structure and construct a 9,100 sq.ft commercial retail store, along with parking, stormwater facilities, landscaping.			

APPLICANT

Name PTV 1454, LLC			
Address 400 Penn Center Blvd. Building 4, Suite 1000			
City Pittsburgh	State PA	Zip 15235	
Phone 724-420-5367		Email ben.syput@penntexventures.com	

OWNER (if different)

Name			
Address			
City	State	Zip	
Phone		Email	

PROPOSAL DATA (must fill in all information)

Days and Hours of Operation	8am-10pm 7 days a week
# of Parking Spaces	30 spaces
# of Handicap Parking Spaces	2 spaces
# of Employees	3
# of Daily Customers (estimated)	200 Daily Customers
# of Vehicles on Lot (automotive business)	N/A

Handicap Access	Yes	
# of Signs submitted by another vendor	Size	Location
Type of Outside Lighting	Parking lot pole lights and building wall packs	
Type of Buffer (fence, bushes, etc.)	N/A	
Disposal of garbage and/or debris	Dumpster Enclosure	
Stormwater drainage	Yes	
Water/Sewer/Septic	Public Water/ Sewer	

OTHER PERMITS NEEDED (CHECK ALL THAT APPLY)

<input checked="" type="checkbox"/> Town of Southport Building Permit	<input checked="" type="checkbox"/> CC Sewer District
<input type="checkbox"/> Town of Southport Driveway Permit	<input type="checkbox"/> Dept. of Health Water/Septic
<input checked="" type="checkbox"/> NYSDOT	<input checked="" type="checkbox"/> SWPPP
<input type="checkbox"/> CC DPW-driveway permit	<input checked="" type="checkbox"/> NYSDEC-SPDES
<input checked="" type="checkbox"/> Elmira Water Board	<input type="checkbox"/> Other: _____

CERTIFICATION

I (We) hereby make application for a Site Plan Approval declaring that the information contained in this application is accurate and correct to the best of my (our) knowledge, and that property described above and indicated on a Concept/Preliminary/Final Plan is in my (our) legal, uncontested ownership, without any outstanding rights, reservations, or other encumbrances, which could nullify the intended use as shown. I (We) understand that a provision of laws and ordinances covering this application will be complied with whether specified or not. This application does not presume to give authority to violate or cancel provisions of any local law regarding this application, and/or construction regarding this application. I/we understand that this application may require additional fees and expenses, at my/our expense, for preparation of necessary environmental, engineering and planning studies. I (We) understand that I (We) can not operate or start the project applied for herein until such time as the Town of Southport grants approval and all necessary permits are secured.

Signature of Applicant Ben Spt Date 10/8/2025

Property Owner _____ Date _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Elmira Dollar General			
Project Location (describe, and attach a location map): 1550 Cedar Street, Elmira, NY 14904			
Brief Description of Proposed Action: Construct a 9,100sf commercial retail building with parking and stormwater facilities .			
Name of Applicant or Sponsor: PTV 1454, LLC		Telephone: 724-420-5367	
		E-Mail: ben.syput@penntextventures.com	
Address: 400 Penn Center Blvd, Building 4, Suite 1000			
City/PO: Pittsburgh		State: PA	Zip Code: 15235
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYDOT, NYSDEC, CC Sewer District and Elmira Water Board		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.80 acres	
b. Total acreage to be physically disturbed?		.76 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.80 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stormwater facility will be provide in the site which will retain the downspouts and runoff from parking areas.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
Infiltration Basin in the rear of the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Ben Syput</u>	Date: <u>10/8/2025</u>	
Signature: <u><i>Ben Syput</i></u>	Title: <u>AVP Permitting</u>	



TOWN OF SOUTHPORT

1139 Pennsylvania Avenue • Elmira New York 14904

PLANNING BOARD

Meeting Minutes

Monday, December 1, 2025

7:00 pm

Board Members Present: Jackie French
John Hastings
Chris Parsons
Trish Peterson, Chairperson
Rick Petzke
Penny Page
Tracy Warner, Vice Chairperson

Board Members Absent: Liv Lovejoy, Alternate

Others Present: Peter Rocchi, Code Enforcement Officer
Marianne Schrom, Deputy Town Clerk
Megan Dorritie, Esq., Harter Secrest & Emery LLP,
Attorney for the Planning Board

Chairperson Peterson called the meeting to order at or about 7:00 pm. She asked if the Board Members had any comments, questions, concerns, or corrections about the October 6, 2025 meeting minutes. Board Member French made a motion to change Board Member Page to excused from the November meeting instead of absent, as she was present but could not participate; Board Member Warner seconded the motion. Hearing no other comments, the Board accepted the minutes of November 3, 2025 as presented with changes. All were in favor.

AYES: French, Hastings, Parsons, Peterson, Petzke, Warner
NOES: None
MOTION CARRIED.

Next on the agenda was to set the Planning Board meeting schedule for the year 2026. All meetings will be held on the first Monday of each month except for the:

September 2026 meeting will be held on Tuesday, September 1, 2026.

The deadline for site plan and special use permit applications will continue to be the third Wednesday of each month.

Public Hearing - Site Plan of Steven Koen to construct a metal building at 1263 Charles Street, Elmira, New York, tax map #109.08-7-25, zoned Commercial Regional.

Chairperson Peterson opened the public hearing at or about 7:06 p.m.

It was noted that the publication was in order, then the public hearing was opened for comment.

Mr. Koen explained that the building will be used for personal storage.

No one else wished to be heard, the public portion of the meeting was closed at 7:07 p.m. and was turned back over to the Planning Board.

Hearing no comments from the Board, Board Member Petzke made the following motion to accept the Site Plan as presented; Board Member French seconded the motion.

**RESOLUTION NO. 009-2025 PB
TOWN OF SOUTHPORT**

SITE PLAN APPROVAL GRANTED TO STEVEN KOEN TO CONSTRUCT A METAL BUILDING AT 1263 CHARLES STREET, TOWN OF SOUTHPORT, COUNTY OF CHEMUNG, STATE OF NEW YORK, TAX MAP #109.08-7-25, ZONED COMMERCIAL REGIONAL

WHEREAS, on or about October 15, 2025, Steven Koen submitted an application to the Code Enforcement Officer for Site Plan approval from the Town of Southport Planning Board to construct a metal building located at 1263 Charles Street, Town of Southport, tax map #109.08-7-25, zoned Commercial Regional (the "Project"); and

WHEREAS, the Town Planning Board held a duly noticed meeting on November 3, 2025, at which the Applicant presented information about the project; and

WHEREAS, at that meeting, the Planning Board: deemed the application complete; preliminarily classified the Project as Type II for SEQRA purposes under 6 NYCRR617.5(c)(9) for construction or expansion of a primary or accessory/appurtenant, nonresidential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls, but not radio communication or microwave transmission facilities; and confirmed that no referral to Chemung County Planning Board under GML 239-m is required per the Town's agreement with County Planning; and set a public hearing for the Project for December 1, 2025 at or about 7 p.m.; and

WHEREAS, the Town Planning Board conducted a public hearing on December 1, 2025, at 7:00 p.m., after all posting and publication were completed in accordance with all applicable laws; and

WHEREAS, at that public hearing, any and all individuals wishing to be heard were then and there given the opportunity to do so

NOW THEREFORE BE IT RESOLVED, that the Town Planning Board hereby: confirms that the Project is properly classified as Type II under SEQRA and thus no further environmental review is required; and grants approval for the Site Plan of Steven Koen to construct a metal building at 1263 Charles Street, with the sole condition being that failure to make significant progress on the project within one (1) year from granting approval of this site plan will render the site plan null and void. Conditions shall be completed within one year unless otherwise stated.

AYES: French, Hastings, Page, Parsons, Peterson, Petzke, Warner

NOES: None

MOTION CARRIED.

Next was review Site Plan of PTV 1454, LLC to construct a 9,100 sf commercial retail building located at 1550 Cedar Street, Elmira, New York, tax map 109.12-1-10, zoned Commercial Regional.

After discussion of the application, Board Member Petzke made the following motion which was seconded by Board Member French:

**RESOLUTION NO. 010-2025 PB
TOWN OF SOUTHPORT**

WHEREAS, the Board received a site plan application from PTV 1454, LLC to construct a 9,100 sf commercial retail building located at 1550 Cedar Street, Elmira, New York, tax map 109.12-1-10, zoned Commercial Regional; and

WHEREAS, The Board reviewed and discussed generally the state of the Application.

NOW THEREFORE BE IT RESOLVED, that the Town Planning Board hereby: declares the Application complete for purposes of scheduling a public hearing, with additional comment expected from LaBella Associates, which has been hired to assist with the application review; (2) preliminarily classifies the application as Unlisted for SEQRA purposes; (3) declares the Planning Board's intent to be Lead Agency for a coordinated SEQRA review; (4) directs the Planning Board Clerk to prepare and transmit all necessary intent to be Lead Agency documents as required by law; (5) refers the Application to Chemung County Planning as required by GML 239-m; (6) schedules a public hearing on the Application for Monday, January 5, 2026 at 7:00 p.m. or as soon thereafter as it can be heard; and (7) makes a referral to the Town Board pursuant to Town Code 525-65 for the establishment of an escrow account in the amount of \$8,000. The motion was seconded by Member French and all Members voted in favor.

AYES: French, Hastings, Page, Parsons, Peterson, Petzke, Warner

NOES: None

MOTION CARRIED.

Other business to come before the Board was the resignation letter of Alternate Planning Board Member Liv Lovejoy.

**RESOLUTION NO. 011-2025 PB
TOWN OF SOUTHPORT**

WHEREAS, the Planning Board received a resignation letter from Liv Lovejoy, Alternate Planning Board Member, effective November 13, 2025.

WHEREAS, the Planning Board is requesting that the Town Board actively start looking to fill this vacant position.

RESOLVED, that the Planning Board accepts the resignation letter of Liv Lovejoy, Alternate Planning Board Member.

AYES: French, Hastings, Page, Parsons, Peterson, Petzke, Warner

NOES: None

MOTION CARRIED.

No other business to come before the Board. Board Member Warner made a motion to adjourn the meeting; Board Member Peterson seconded the motion. All were in favor. The meeting was adjourned at 7:25 p.m.

Respectfully submitted,

Marianne Schrom
Deputy Town Clerk

Original on file with Town Clerk

cc: Planning Board
Town Board
Town Clerk
Town Attorney



TOWN OF SOUTHPORT
1139 Pennsylvania Avenue • Elmira New York 14904

PLANNING BOARD

Meeting Minutes

Monday, January 5, 2025

7:00 pm

Board Members Present:

John Hastings
Trish Peterson, Chairperson
Rick Petzke
Penny Page

Board Members Absent:

Jackie French
Chris Parsons
Tracy Warner, Vice Chairperson

Others Present:

Peter Rocchi, Code Enforcement Officer
Marianne Schrom, Deputy Town Clerk, Samantha
Born, Secretary

Chairperson Peterson called the meeting to order at or about 7:00 pm. She asked if the Board Members had any comments, questions, concerns, or corrections about the December 1, 2025, meeting minutes. Hearing no comments, Board Member Page made a motion to accept the minutes of December 1, 2025, as presented; Board Member Petzke seconded the motion. All were in favor. The Board accepted the minutes of December 1, 2025, as presented.

AYES: Hastings, Peterson, Petzke, Page

NOES: None

ABSENT: French, Parsons, Warner

MOTION CARRIED.

Public Hearing - Site Plan of PTV 1454, LLC to construct a 9,100-sf commercial retail building located at 1550 Cedar Street, Elmira, New York, tax map 109.12-1-10, zoned Commercial Regional.

Chairperson Peterson opened the public hearing at or about 7:03 p.m. It was noted that the publication was in order, then the public hearing was open for comment.

Jeremy Hummel from Larson Design group introduced the plan for the Dollar General. Mr. Hummel informed the Board that they would be demolishing two existing buildings and landscaping. Chairperson Paterson asked if anyone had any public comments. No public comments from the public. Mr. Hummel addressed the questions and concerns submitted by Labella. Discussion was had with the board members, Mr. Rocchi, and Jennifer Vaughn from Labella.

**RESOLUTION NO. 001-2026 PB
TOWN OF SOUTHPORT**

WHEREAS, the Town Planning Board conducted a public hearing on January 5, 2026, at 7:00 p.m., after all postings and publications were completed in accordance with all applicable laws; and

WHEREAS, at that public hearing, all individuals wishing to be heard, were without delay, given the opportunity to do so. No comments or concerns were made by the public.

WHEREAS, Chairperson Peterson made a motion to keep the public hearing open; Board Member Page seconded the motion.

AYES: Hastings, Page, Peterson, Petzke

NOES: None

ABSENT: French, Parsons, Warner

MOTION CARRIED.

Preliminary Review of Site Plan Amendment and Special Use Permit Application
– 1600 Cedar Street, Emira, NY

Arshad Mahmood, representative for the applicant, stated that they are seeking an adjustment to their site plan to allow for the preparation and sale of food out of the existing business at the location. Mr. Mahmood explained that he is planning to prepare and serve food out of the current business he owns. Mr. Mahmood explained that there is no other Asian food being sold in the area.

Discussion was had between Mr. Mahmood and the board members regarding the hours of operation, the fact that there will be no seating/dining as it will be pick up orders only. It was discussed that Mr. Mahmood could request the hours of operation to be twenty-four hours a day now, instead of returning later to change the hours of operation. Mr. Mahmood agreed and the hours of operation were changed to twenty-four hours for the site plan amendment.

**RESOLUTION NO. 002-2026 PB
TOWN OF SOUTHPORT**

WHEREAS, the Board received a site plan and special use permit application from Arshad Mahmood to allow food preparation and sales at 1600 Cedar Street, Elmira, New York, zoned Commercial Regional (the "Application"); and

WHEREAS, The Board reviewed and discussed generally the state of the Application.

NOW THEREFORE IT BE RESOLVED, that the Town Planning Board hereby: declares the Application complete for purposes of scheduling a public hearing; (2) preliminary classifies the Application as a Type II action for SEQRA purposes; (3) schedules a public hearing on the Application for February 2, 2026, at 7:00 p.m.; (4) directs the Planning Board Clerk to publish notice of the hearing as required by all applicable laws; and (5) states that no referral under GML 239-m is required per the contract between the Town and the County Planning Board.

AYES: Hastings, Page, Peterson, Petzke

NOES: None

ABSENT: French, Parsons, Warner

MOTION CARRIED.

**RESOLUTION NO. 003-2026 PB
TOWN OF SOUTHPORT**

WHEREAS, the Board reviewed the letter of request from Kent Collier to be considered as an alternate Board Member. The request was discussed as well as need for Kent to resign from current position of alternate to the Zoning Board of Appeals to be an alternate Board Member for the Planning Board. Chairperson Peterson made a motion to refer to the Town Board for review. Board Member Page seconded the motion.

AYES: Hastings, Page, Peterson, Petzke

NOES: None

ABSENT: French, Parsons, Warner

MOTION CARRIED.

Other business to come before the Board was the re-election of the Planning Board Chairperson and Vice Chairperson.

The Board did not have enough Board members present to address the re-election due to attendance, as the required four voters needed protocol would not be met as the Chairperson has to abstain from the vote.

WHEREAS, this matter was tabled until the next Planning Board meeting, February 2, 2026 at 7:00 pm.

No other business to come before the Board. Board Member Page made a motion to adjourn the meeting; Board Member Peterson seconded the motion. All were in favor. The meeting was adjourned at 7:55 p.m.

Respectfully submitted,

Samantha Born
Planning Board Secretary

Original on file with Town Clerk

cc: Planning Board
Town Board
Town Clerk Town Attorney

Larson Design Group

SITE PLAN

DOLLAR GENERAL STORE

1550 Cedar Street, ELMIRA, NY 14904

11693-071

NOT FOR CONSTRUCTION

PTV 1454, LLC
 400 PENN CENTER BLV. BUILDING 4 SUITE 1000
 PITTSBURGH, PA

SHEET INDEX

C-000	COVER SHEET
C-001	GENERAL INFORMATION
C-002	GENERAL NOTES
C-100	LOT PLAN
C-101	DEMOLITION PLAN
C-200	SITE LAYOUT PLAN
C-201	GRADING PLAN
C-202	UTILITY PLAN
C-203	LANDSCAPING PLAN
C-204	PROFILES
C-205	PHOTOMETRIC PLAN
C-205.1	LIGHTING SPECIFICATIONS
C-206	TURNING MOVEMENTS
C-300	SITE DETAILS
C-301	SITE DETAILS
C-302	SITE DETAILS
C-303	SITE DETAILS
C-401	EROSION AND SEDIMENT CONTROL PLAN
C-402	EROSION AND SEDIMENT CONTROL DETAILS



Larson Design Group
 1000 COMMERCE PARK DRIVE
 SUITE 201
 WILLIAMSPORT, PA 17701
 (717) 323-8800

MARK	DATE	COMMENTS
1	02/08/2025	TOWN/COALITION RESUBMISSION
0	10/29/2025	PERMIT SUBMISSION

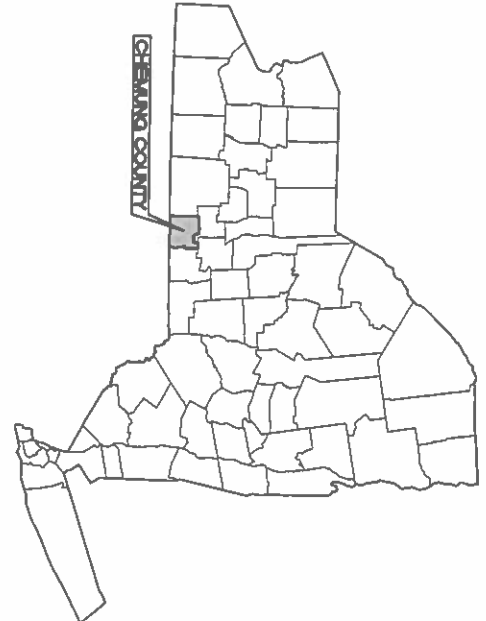
PTV 1454, LLC
 400 PENN CENTER BLV. BUILDING 4 SUITE 1000
 PITTSBURGH, PA

DOLLAR GENERAL - ELMIRA, NY
 TOWN OF SOUTHPORT
 CHEMUNG COUNTY

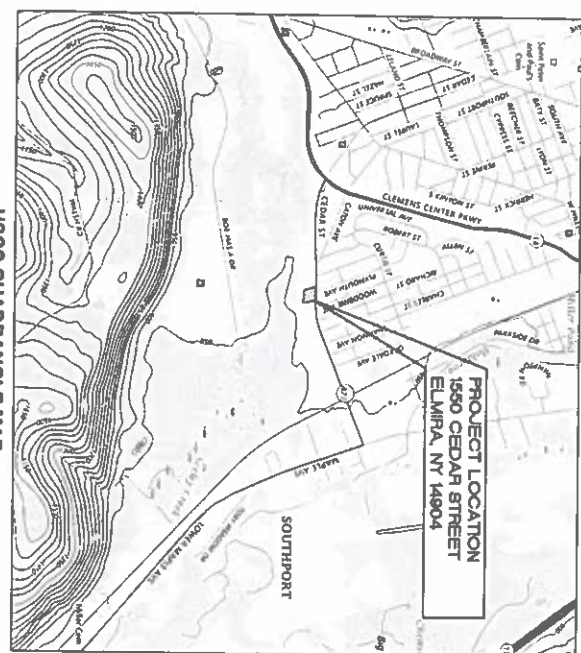
COVER

SITE PLAN

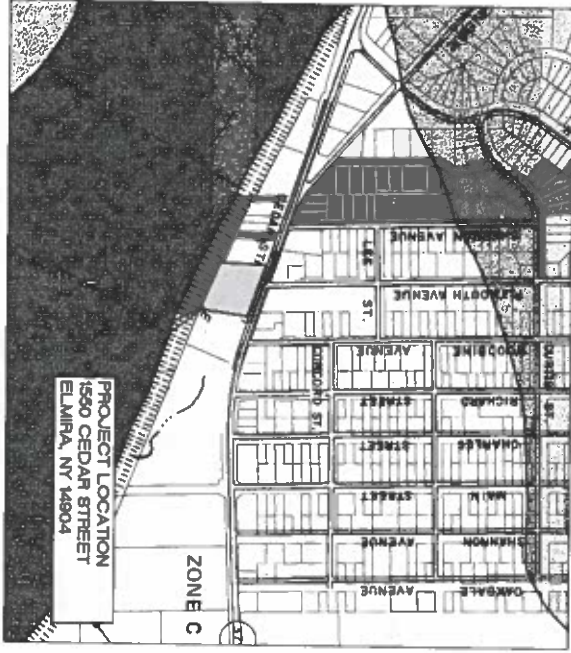
Date: 01/09/2025
 Project No.: 11693-071
 Sheet No.: **C000**



NEW YORK STATE MAP
MAP SCALE: NOT TO SCALE



USGS QUADRANGLE MAP
MAP NAME: ELMIRA (NY)
MAP SCALE: 1"=2000'



FEMA FIRM MAP
MAP NUMBER: 3601520001B
MAP SCALE: 1"=500'

PROJECT INFORMATION	
OWNER	PTV 1454, LLC 400 PENN CENTER BLV. BUILDING 4 SUITE 1000 PITTSBURGH, PA ATTN: BEN SPYRI
DEVELOPER	PTV 1454, LLC 400 PENN CENTER BLV. BUILDING 4 SUITE 1000 PITTSBURGH, PA ATTN: BEN SPYRI
ENGINEER	LARSON DESIGN GROUP 1000 PENN CENTER BLV. SUITE 201 WILLIAMSPORT, PA 17701 CONTACT: CHRISTOPHER SHEAFFER 570-600-5025 CSHEAFFER@LARSONDESIGNGROUP.COM
SURVEYOR	LARSON DESIGN GROUP 1000 PENN CENTER BLV. SUITE 201 WILLIAMSPORT, PA 17701 CONTACT: CHRIS IACHINI 570-337-3814 CIACHINI@LARSONDESIGNGROUP.COM
PARCEL IDENTIFICATION NO.	10912-1-10
COUNTY	CHEMUNG
MUNICIPALITY	TOWN OF SOUTHPORT
SITE ADDRESS	1550 CEDAR STREET, ELMIRA, NY 14904
EXISTING USE	AUTOMOTIVE REPAIR
ADJACENT USES	NORTH: RESIDENTIAL SOUTH: COMMERCIAL EAST: COMMERCIAL WEST: RESIDENTIAL
PROPERTY AREA (ACRES)	1.805
LOT PERCENTS	BUILDING: 12% PAVE/SIDEWALK: 26% GREEN SPACE: 62%
INTENDED USE	THE PURPOSE OF THIS PROJECT CONSISTS OF THE DEMOLITION ONE EXISTING SINGLE-STORY STRUCTURE AND CONSTRUCT A 9,100 SQUARE FOOT COMMERCIAL RETAIL STORE, ALONG WITH PARKING AND OTHER AMENITIES. THE CONSTRUCTION PROCESS TAKING PLACE WILL INCLUDE: GRADING, FURNISHMENT INSTALLATIONS, LANDSCAPING, SIGNAGE INSTALLATION, AND MUNICIPAL CONSTRUCTION ACTIVITIES.
DISTRICTS	FIRE: SOUTHPORT FIRE DEPARTMENT SCHOOL: ELMIRA CITY SCHOOL DISTRICT SEWER: CHEMUNG COUNTY SEWER DIST 1 WATER: ELMIRA WATER BOARD
MAX. IMPERVIOUS AREA (SF)	N/A
ZONING INFORMATION	
EXISTING ZONING	(CR) COMMERCIAL REGIONAL
ADJACENT ZONING	NORTH: C-3 GENERAL COMMERCIAL SOUTH: C-3 GENERAL COMMERCIAL EAST: R-2 RESIDENTIAL WEST: R-2 RESIDENTIAL
PARKING PROVIDED	30 PROVIDED
ADA PARKING PROVIDED	2 RECD PER ADA CODE / 2 PROVIDED
BUILDING SETBACKS	FRONT: 15' REAR: 20' SIDES: 5'

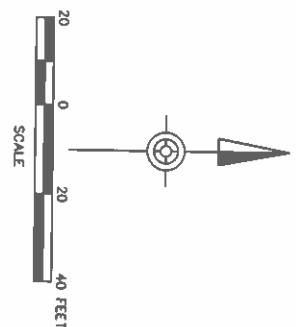


- UDIG ADDRESSES IT HAS REQUESTED LINE AND UTILITY INFORMATION FROM THE UDIGNY SYSTEM. UDIGNY SERIAL NUMBER: 022685-002-0110-00 DATE: 02/16/2025
- THE FACILITIES SHOWN ON THESE PLANS ARE SHOWN BASED ON INFORMATION GATHERED USING SUBSURFACE UTILITY ENGINEERING QUALITY LEVEL: C
- SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS INCLUDE:
LEVEL 0 - UTILITY RECORDS RESEARCH AND INTERVIEWS WITH KNOWLEDGEABLE UTILITY PERSONNEL;
LEVEL 1 - SURFACE SURVEYS TO IDENTIFY AND RECORD ABOVE GROUND FEATURES OF SUBSURFACE UTILITIES;
LEVEL 2 - SURFACE SURVEYS TO IDENTIFY AND RECORD ABOVE GROUND FEATURES OF SUBSURFACE UTILITIES;
LEVEL 3 - SURFACE SURVEYS TO IDENTIFY AND RECORD ABOVE GROUND FEATURES OF SUBSURFACE UTILITIES;
LEVEL 4 - EXPOSURE OF LINES VIA VAQUUM EXCAVATION TO PROVIDE PRECISE HORIZONTAL AND VERTICAL POSITIONAL DATA.
- THE FOLLOWING FACILITY OWNERS HAVE INDICATED THROUGH UDIGNY THAT THEY HAVE LINES IN THE PROJECT AREA:
 - UTILITY: SANITARY SEWER COMPANY: CHEMUNG COUNTY SEWER DIST 1 CONTACT: MIKE EVANS PHONE: (607) 737-6223
 - UTILITY: GAS COMPANY: ELMIRA GAS CONTACT: USOC LOCATING PHONE: (800) 282-8600
 - UTILITY: WATER COMPANY: ELMIRA WATER BOARD CONTACT: KENNETH BARONE PHONE: (607) 425-2755
 - UTILITY: HIGHWAY/TRAFFIC SIGNALS COMPANY: NYS DOT HORNELL REGION 6 VOCC CALLS CONTACT: NYS DOT HORNELL REGION 6 VOCC CALLS PHONE: (607) 324-8490
 - UTILITY: FIBER/TELEPHONE COMPANY: VERIZON STRACUSE CONTACT: VERIZON INTL SR CONTACT: (844) 661-0660

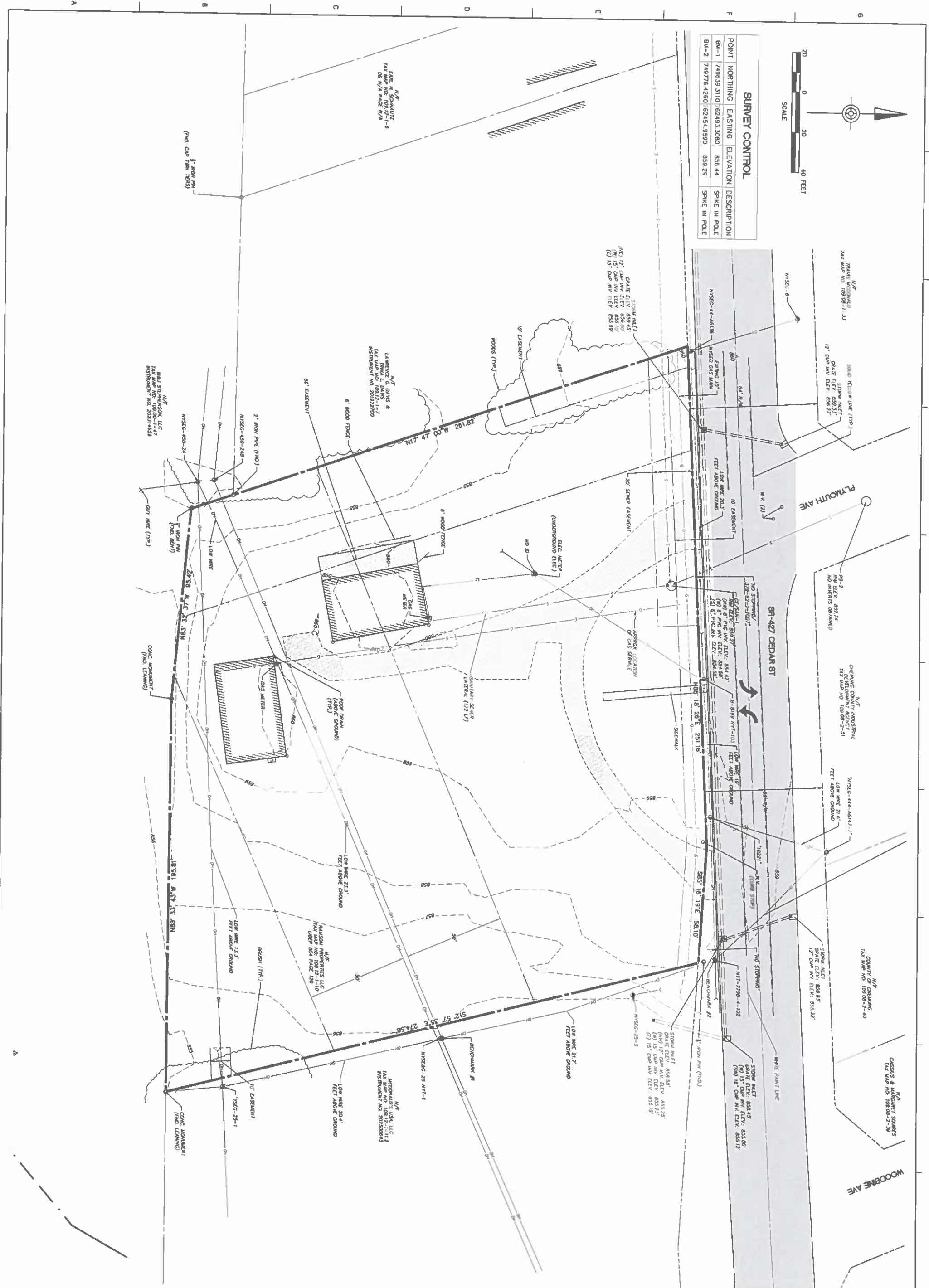
LEGEND	EXISTING	PROPOSED
FEATURES TEXT	Feature text	Feature text
PROPERTY LINE	---	---
RIGHT-OF-WAY LINE	---	---
EASEMENT LINE	---	---
CONTOUR LINE	100	100
CENTER LINE OF ROAD	---	---
BUILDING SETBACK	---	---
BUILDING LINE	---	---
FENCE LINE	---	---
EDGE OF PAVEMENT	---	---
GRAVEL	---	---
CONCRETE CURB	---	---
CONCRETE/SIDEWALK	---	---
SIGN	---	---
BENCHMARK	---	---
DITCH/SWALE	---	---
DRAINAGE LINE, MANHOLE & GR	---	---
SANITARY SEWER & MANHOLE	---	---
WATER MAIN & VALVE	---	---
SEWER FORCE MAIN	---	---
GAS MAIN & VALVE	---	---
UNDERGROUND ELECTRIC	---	---
UNDERGROUND CABLE TV	---	---
OVERHEAD UTILITIES & POLE	---	---
UNDERGROUND TELEPHONE	---	---
GUIDE RAIL	---	---
12" COMPOST FILTER SOIL	---	---
LIMIT OF DISTURBANCE	---	---
NPOES PERMIT BOUNDARY	---	---
SOIL BOUNDARY	---	---
SOIL TYPE	---	---
ROCK CONSTRUCTION ENTRANCE	---	---
WILET PROTECTION	---	---



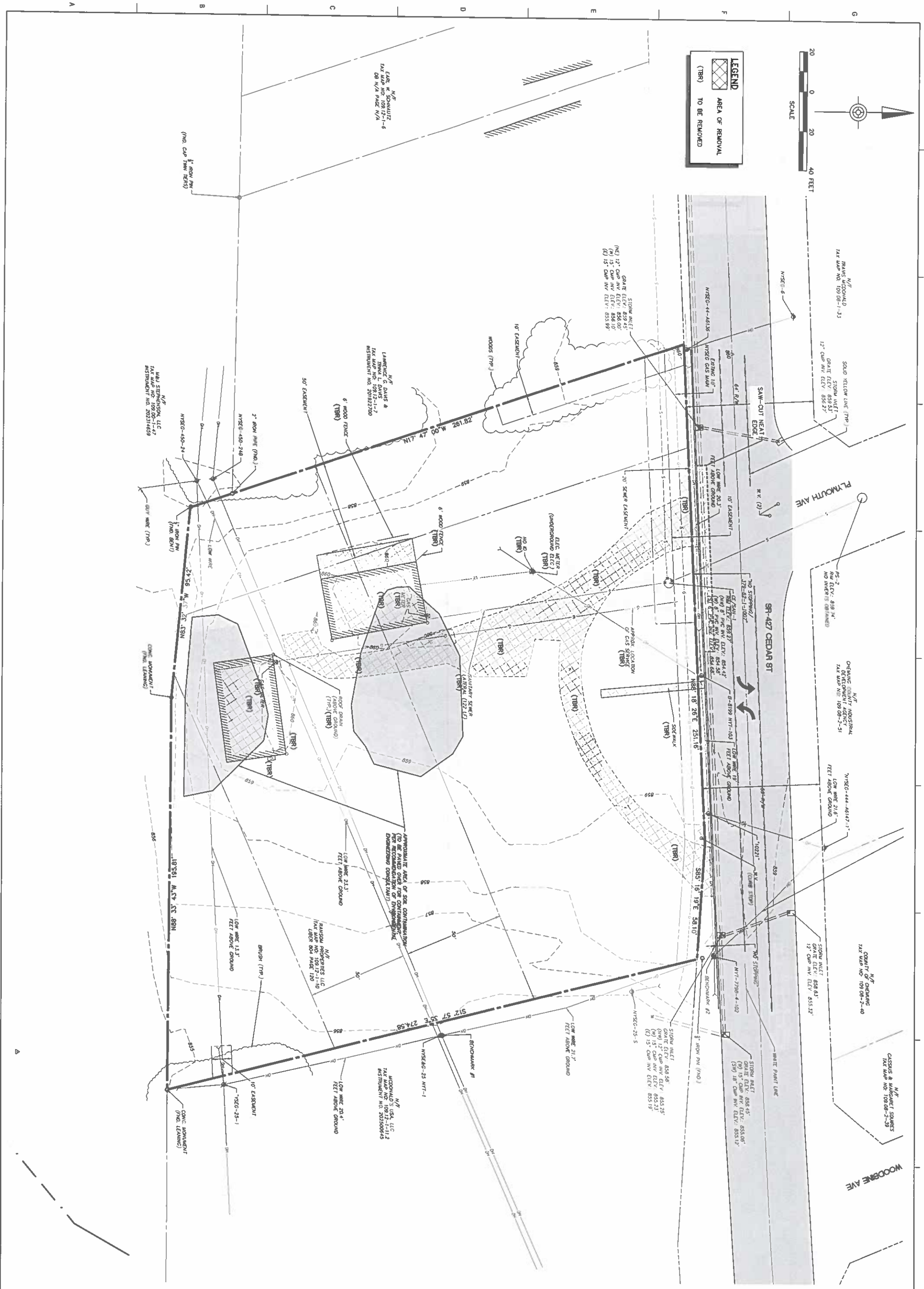
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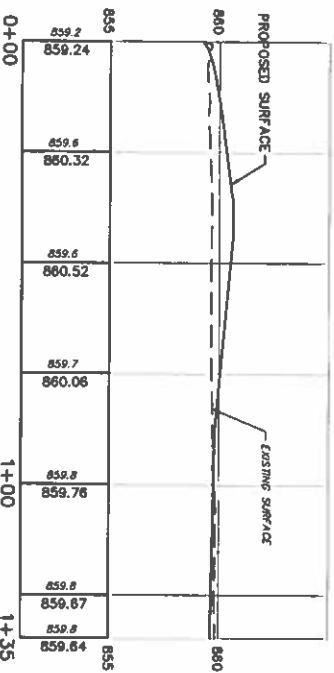
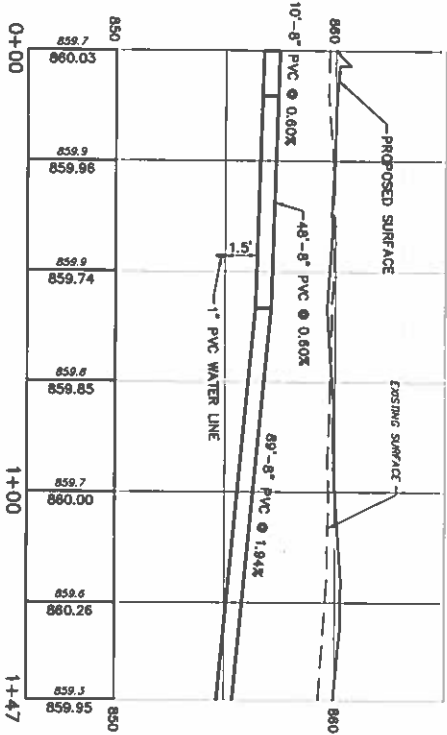
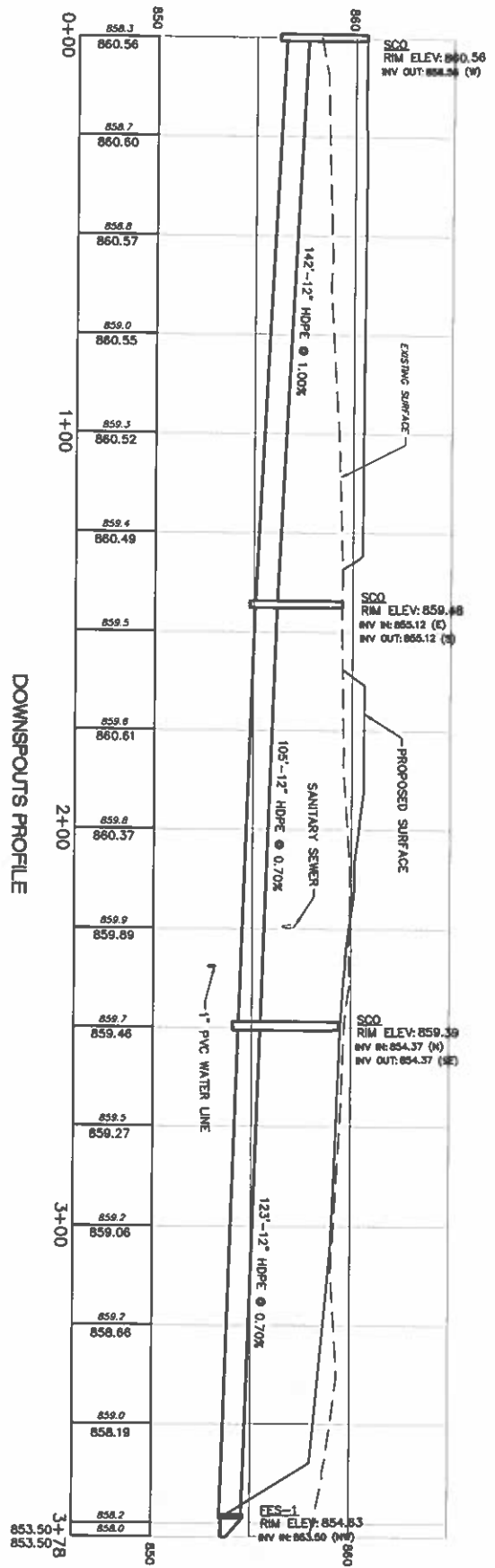
POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM-1	749639.3110	762493.3080	856.44	SPIKE IN POLE
BM-2	749776.4260	62454.9390	859.29	SPIKE IN POLE



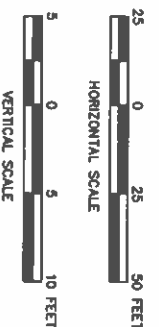
<p>DOLLAR GENERAL - ELMIRA, NY TOWN OF SOUTHPORT CHEMUNG COUNTY</p> <p>LOT PLAN SITE PLAN</p>	<p>PTV 1454, LLC 400 PENN CENTER BLV. BUILDING 4 SUITE 1000 PITTSBURGH, PA</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>02/06/2026</td> <td>TOWN COALITION RESUBMISSION</td> </tr> <tr> <td>1</td> <td>10/29/2025</td> <td>PERMIT SUBMISSION</td> </tr> </tbody> </table>	MARK	DATE	COMMENTS	0	02/06/2026	TOWN COALITION RESUBMISSION	1	10/29/2025	PERMIT SUBMISSION	<div style="text-align: right;"> <p>Larson Design Group 1000 COMMERCIAL PARK DRIVE SUITE 201 WILLIAMSPORT, PA 17701 (817) 327-6603</p> </div>
MARK	DATE	COMMENTS										
0	02/06/2026	TOWN COALITION RESUBMISSION										
1	10/29/2025	PERMIT SUBMISSION										
<p>Date: 01/09/2026</p> <p>Project No: 11653-071</p> <p>Sheet No: C-100</p>												



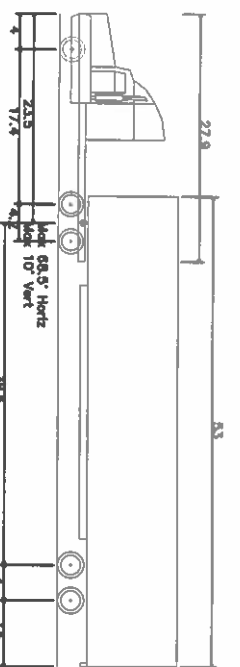
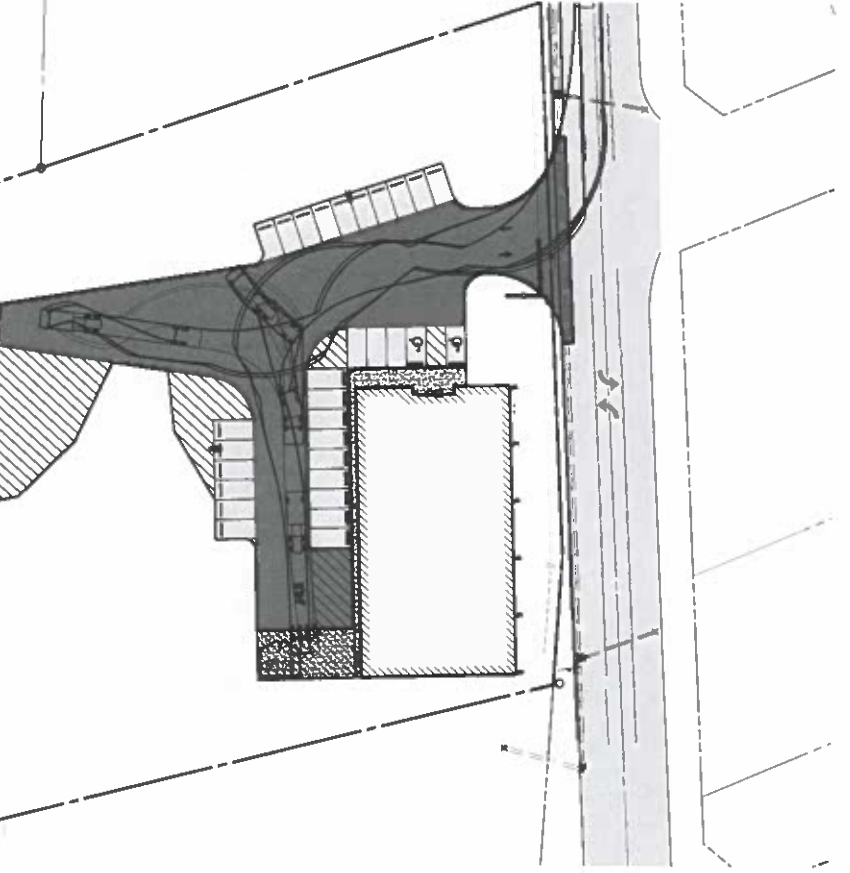
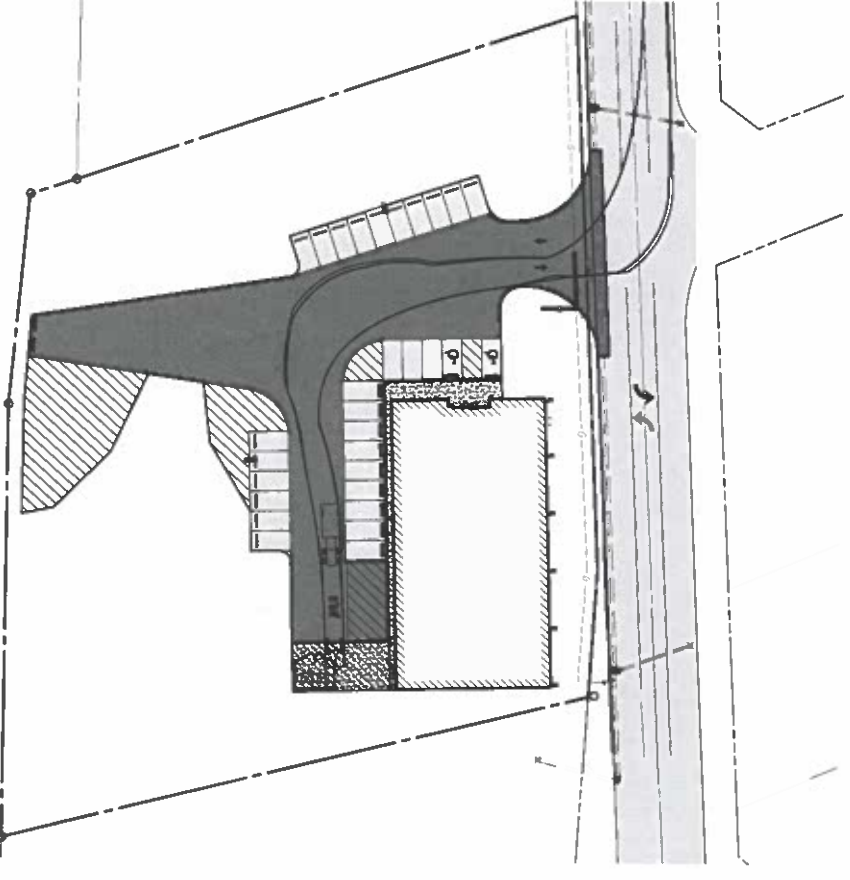
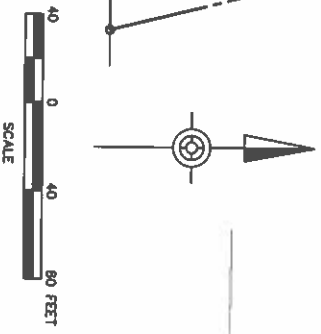
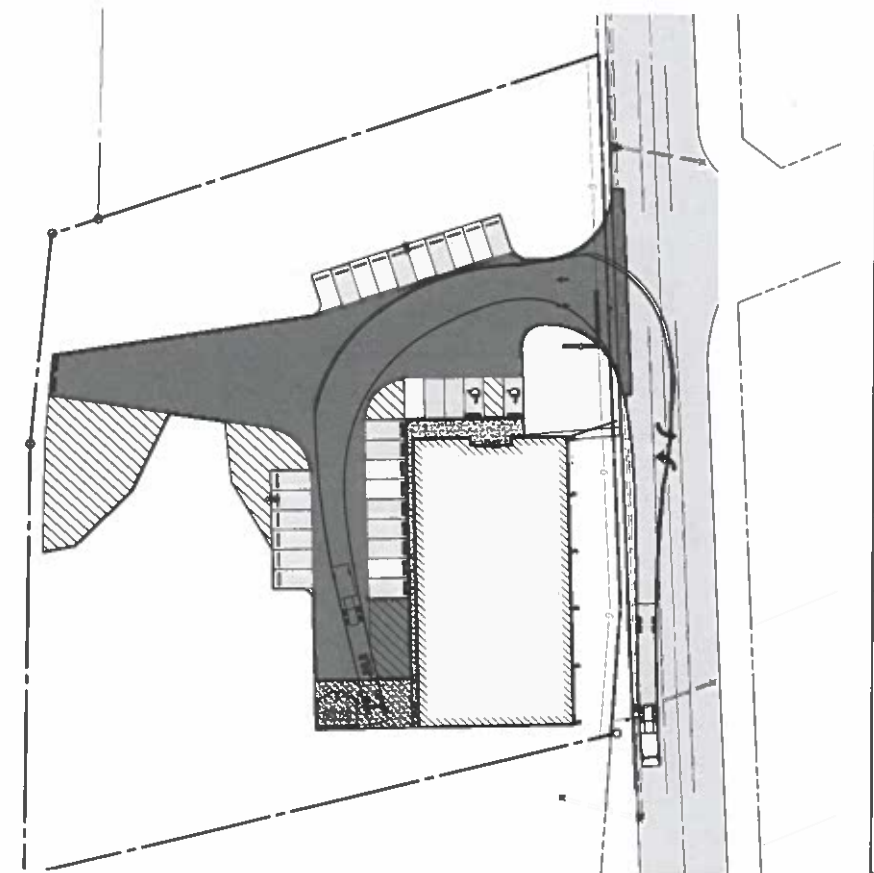
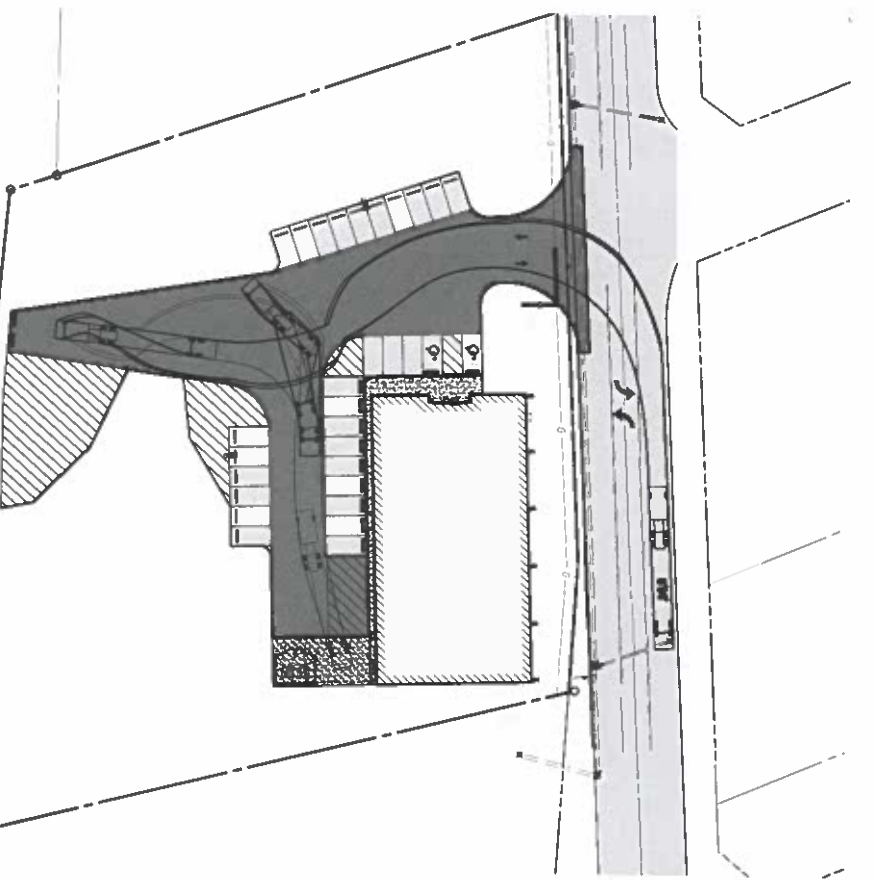
<p>C-101</p>	<p>Date: 01/06/2026</p> <p>Project No.: 11693-071</p> <p>Sheet No.:</p>	<p>DOLLAR GENERAL - ELMIRA, NY</p> <p>TOWN OF SOUTHPORT CHEMUNG COUNTY</p> <p>DEMOLITION PLAN</p> <p>SITE PLAN</p>	<p>PTV 1454, LLC</p> <p>400 PENN CENTER BLV, BUILDING 4 SUITE 1000 PITTSBURGH, PA</p>	<p>SEAL</p>	<table border="1"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>02/06/2025</td> <td>TOWN/COUNTY RESUBMISSION</td> </tr> <tr> <td>2</td> <td>10/29/2025</td> <td>PERMIT SUBMISSION</td> </tr> </tbody> </table>	MARK	DATE	COMMENTS	1	02/06/2025	TOWN/COUNTY RESUBMISSION	2	10/29/2025	PERMIT SUBMISSION	<p>Lansco Design Group 1000 COMMERCE PARK DRIVE WILLIAMSBURG, VA 23187 (877) 323-6800</p>
	MARK	DATE	COMMENTS												
1	02/06/2025	TOWN/COUNTY RESUBMISSION													
2	10/29/2025	PERMIT SUBMISSION													
<p>1693-071</p>		<p>1693-071</p>		<p>1693-071</p>											



LEGEND	
---	EXISTING GRADE
---	PROPOSED GRADE
---	HDPPE
---	HIGH DENSITY POLYETHYLENE PIPE
---	OS
---	OUTLET STRUCTURE
---	FES
---	FLARED END SECTION



DOLLAR GENERAL - ELMIRA, NY TOWN OF SOUTHPORT CHEMUNG COUNTY	PTV 1454, LLC 400 PENN CENTER BLV. BUILDING 4 SUITE 1000 PITTSBURGH, PA	1 02/06/2025 TOWN/COLLECTION RESUBMISSION
		0 10/29/2025 PERMIT SUBMISSION
DATE: 01/06/2025 Project No.: 11683-071 Sheet No.: C-204	1000 COMMERCE PARK DRIVE SUITE 301 WILKESBORO, PA 17701 (817) 323-8800	



DG-WB-02 - INTERSTATE SEMI-TRAILER
 OVERALL LENGTH 73.50 FT
 OVERALL WIDTH 8.50 FT
 OVERALL BODY HEIGHT 13.50 FT
 MIN BODY GROUND CLEARANCE 1.354 FT
 LOCK TRACK WIDTH 8.50 FT
 LOCK TRACK GROUND CLEARANCE 8.50 FT
 MAX STEERING ANGLE (VIRTUAL) 28.40 DEG

LDG
 Larson Design Group
 1000 COMMERCE PARK DRIVE
 SUITE 201
 WALLINGPORT, PA 17171
 (717) 262-6800

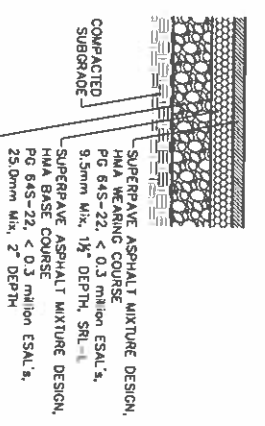
MARK	DATE	COMMENTS
1	02/08/2026	TOWN/CODALATION RESUBMISSION
0	10/29/2025	PERMIT SUBMISSION

PTV 1454, LLC
 400 PENN CENTER BLV. BUILDING 4 SUITE 1000
 PITTSBURGH, PA

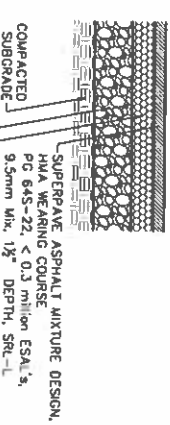
DOLLAR GENERAL - ELMIRA, NY
 TOWN OF SOUTHPORT
 CHEMUNG COUNTY

TURNING MOVEMENTS
 SITE PLAN

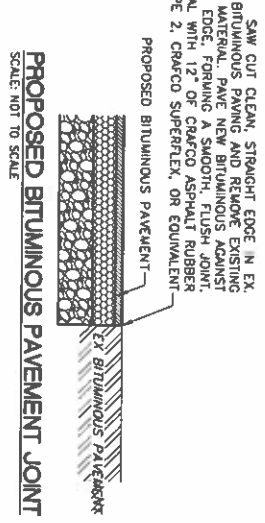
Date: 01/06/2026
 Project No.: 11683-071
 Sheet No.: C-206



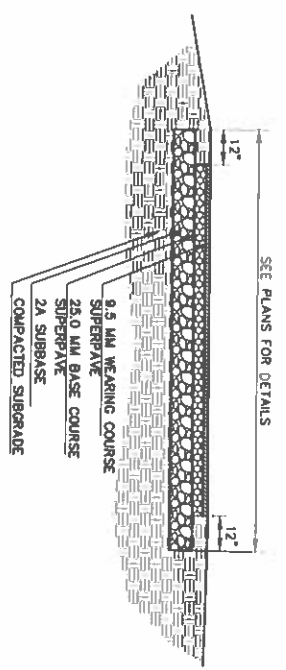
STANDARD BITUMINOUS PAVEMENT
SCALE: NOT TO SCALE



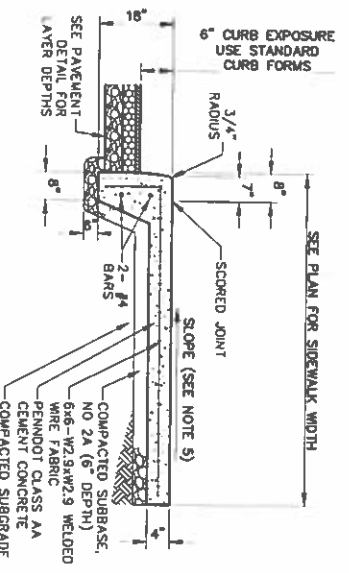
HEAVY DUTY BITUMINOUS PAVEMENT
SCALE: NOT TO SCALE



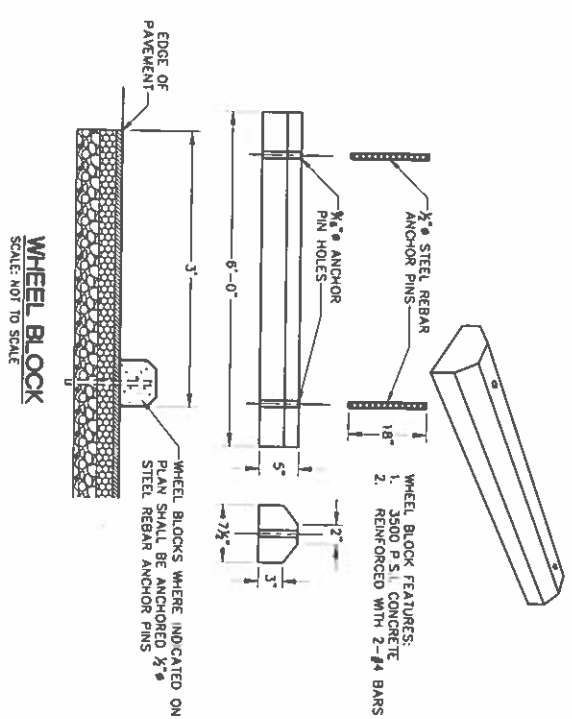
PROPOSED BITUMINOUS PAVEMENT JOINT
SCALE: NOT TO SCALE



BITUMINOUS PAVEMENT SIDEWALK
SCALE: NOT TO SCALE

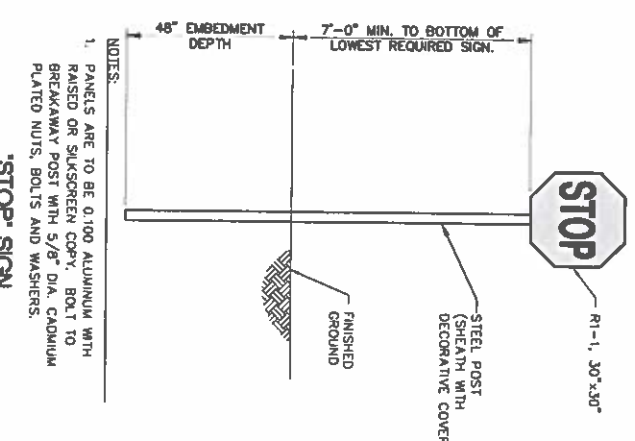


3/4" EXPANSION JOINT MATERIAL
SLOPE 1/4" PER FT. (TYP.)
FINISHED GRADE
CONCRETE WALK (SEE DETAIL)
6"-#4 REBAR SET 3"
IN BUILDING @ 18" O.C.
NOTE:
SEE SITE PLAN FOR CONCRETE SLAB/WALK LOCATION.
CONCRETE SLAB/WALK ADJACENT TO BUILDING
SCALE: NOT TO SCALE

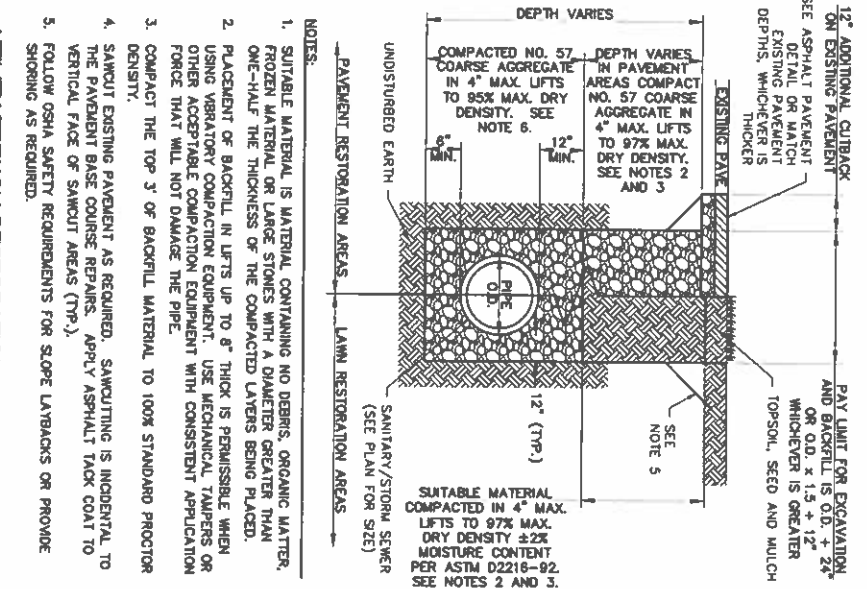


WHEEL BLOCK
SCALE: NOT TO SCALE

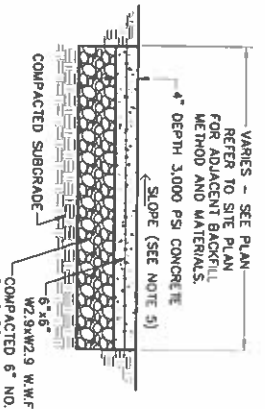
SAW CUT CLEAN, STRAIGHT EDGE IN EX. BITUMINOUS PAVING AND REMOVE EXISTING MATERIAL. PAVE NEW BITUMINOUS AGAINST EDGE, FORMING A SMOOTH, FLUSH JOINT. SEAL WITH 1/2" OF COATED ASPHALT RUBBER TYPE 21, GRADED SUPERFLEX, OR EQUIVALENT.
PROPOSED BITUMINOUS PAVEMENT



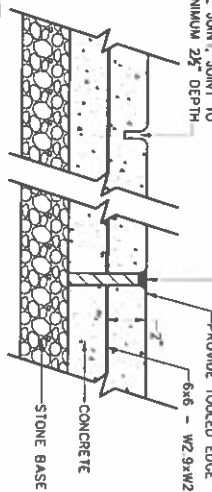
STOP SIGN
SCALE: NOT TO SCALE



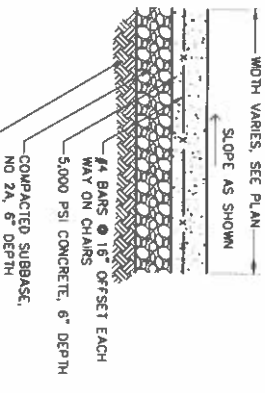
UTILITY TRENCH RESTORATION
SCALE: NOT TO SCALE



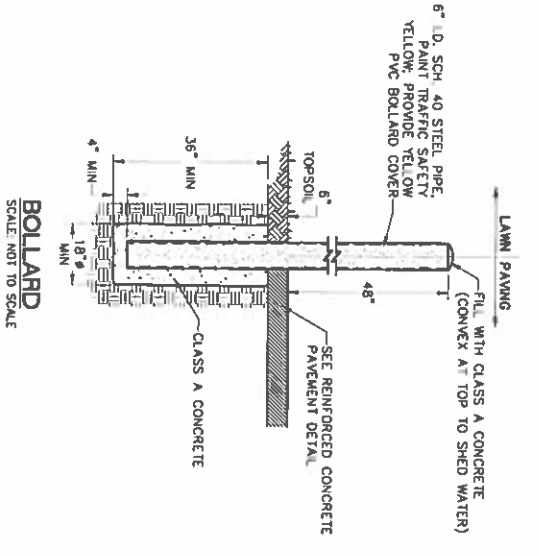
CONCRETE WALK
SCALE: NOT TO SCALE



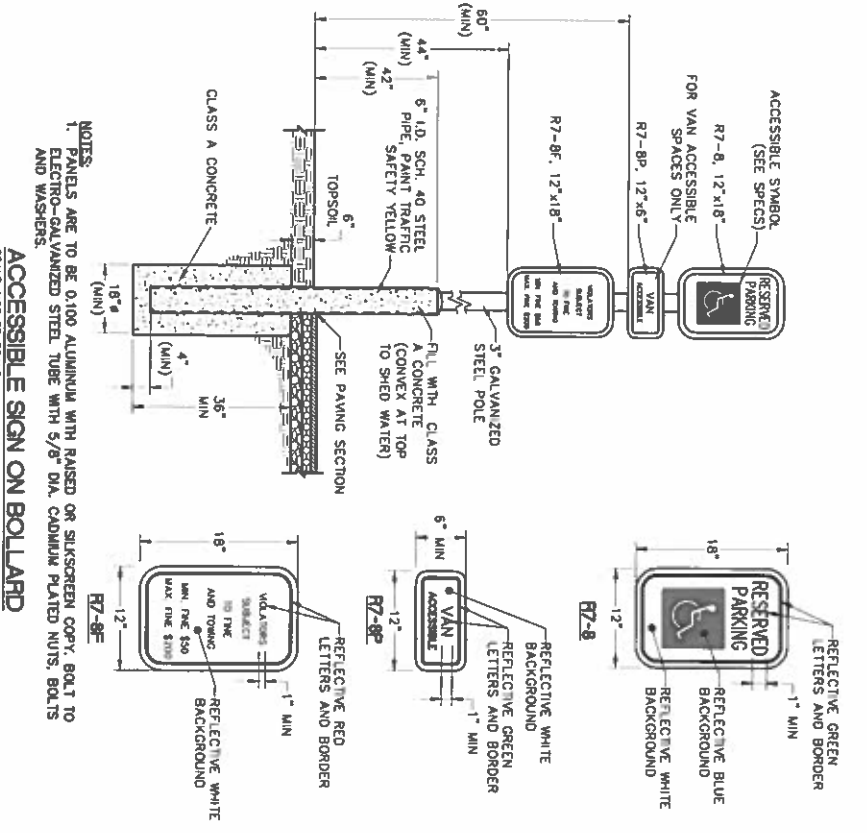
EXPANSION AND CONTROL JOINTS
SCALE: NOT TO SCALE



REINFORCED CONCRETE PAVEMENT
SCALE: NOT TO SCALE



BOLLARD
SCALE: NOT TO SCALE



ACCESSIBLE SIGN ON BOLLARD
SCALE: NOT TO SCALE

MARK	DATE	COMMENTS
1	02/08/2025	TOWN/COALITION RESUBMISSION
2	10/29/2025	PERMIT SUBMISSION

PTV 1454, LLC
400 PENN CENTER BLV. BUILDING 4 SUITE 1000
PITTSBURGH, PA

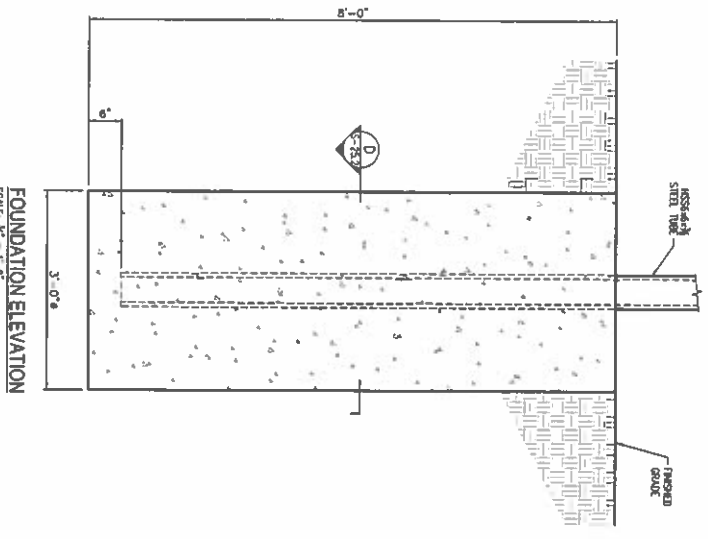
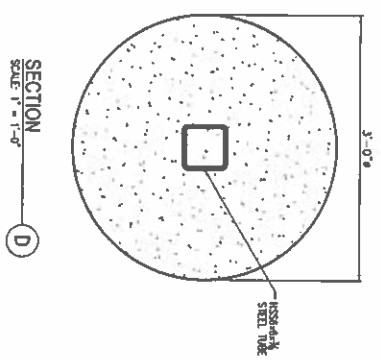
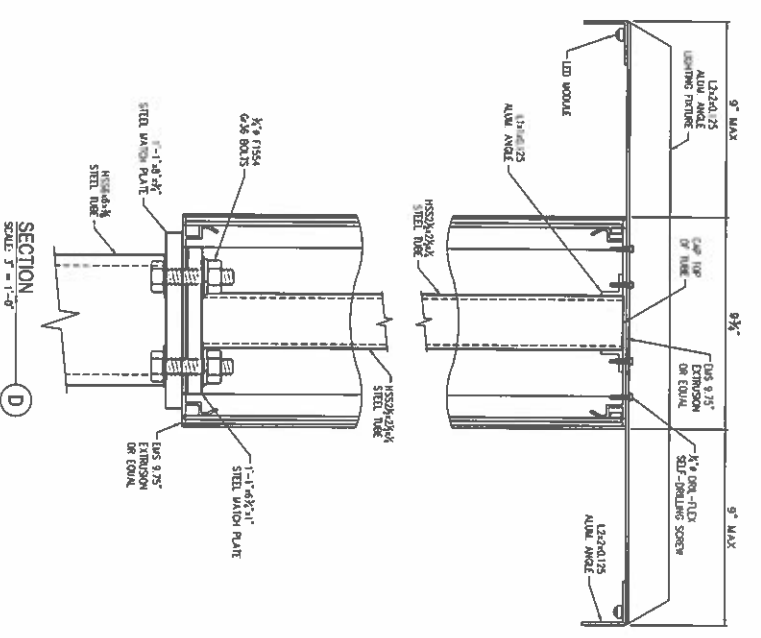
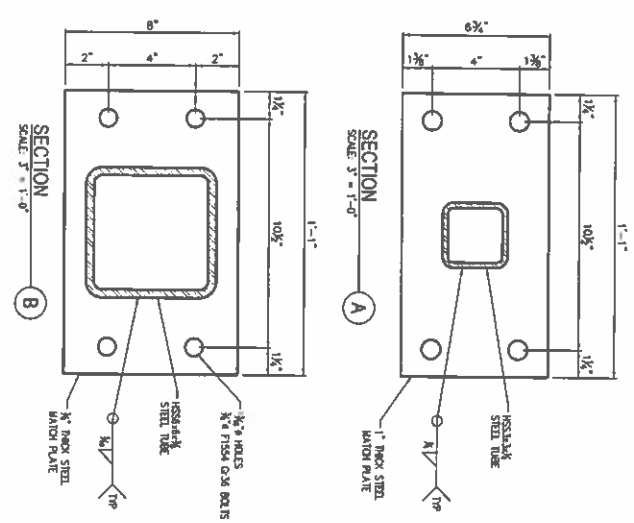
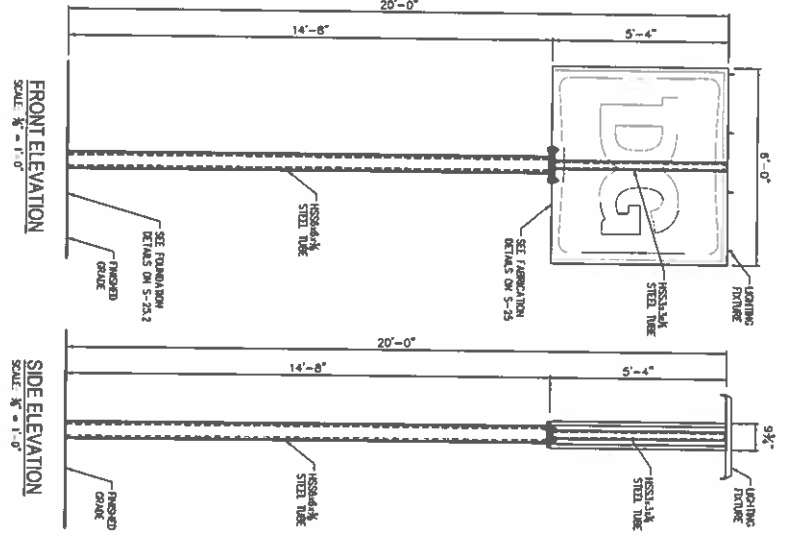
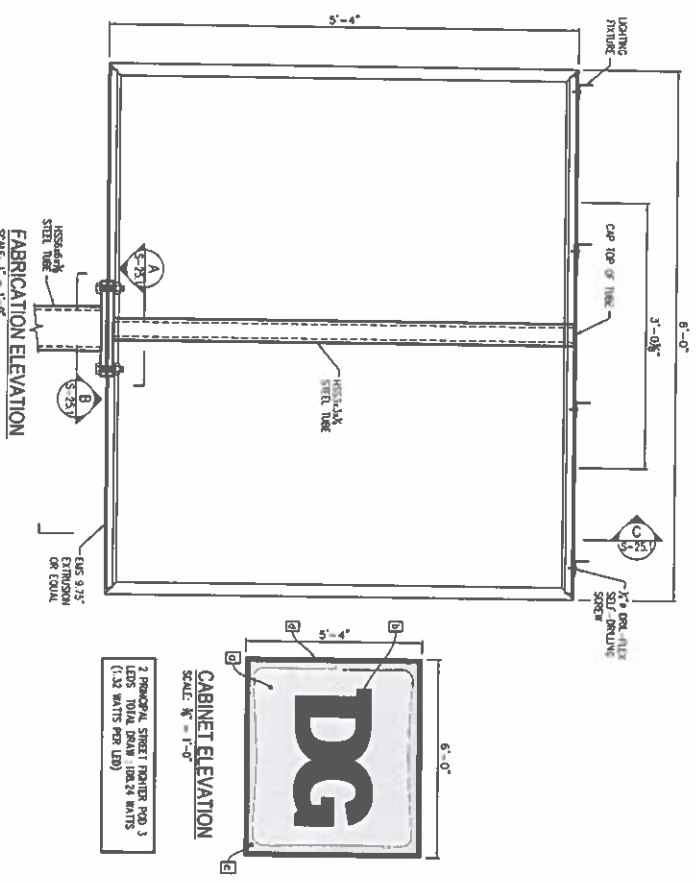
DOLLAR GENERAL - ELMIRA, NY
TOWN OF SOUTHPORT
CHEMUNG COUNTY
SITE DETAILS
SITE PLAN

Date: 01/16/2025
Project No.: 11683-071
Sheet No.: **C-300**

DESIGN CRITERIA
 DESIGN: SEE SPEC/ASCE 7-22
 ANALYSIS: SEE SPEC/ASCE 7-22
 MATERIALS: SEE SPEC/ASCE 7-22
 CONCRETE: SEE SECTION 0505.11
 REINFORCING STEEL: SEE SECTION 0505.11
 ALUMINUM: SEE SECTION 0505.11
 ROOF: CATEGORY II, WIND = 140 MPH
 ROOF CATEGORY: II, WIND = 140 MPH

FACE COLORS

- a. 1/2" ALUMINUM FACE PANEL - YELLOW - PAINTING PMS 109 C
- b. 1/2" ALUMINUM FACE PANEL - BLACK - PA 7725-12
- c. 1/2" ALUMINUM FACE PANEL - GRAY - PMS COOL GRAY 5 C
- d. 1/2" ALUMINUM FACE PANEL - BLACK - 328A-028S



FOUNDATION DESIGN CRITERIA
 FOUNDATION DESIGN: SEE SPEC/ASCE 7-22
 ANALYSIS: SEE SPEC/ASCE 7-22
 MATERIALS: SEE SPEC/ASCE 7-22
 CONCRETE: SEE SECTION 0505.11
 REINFORCING STEEL: SEE SECTION 0505.11
 ALUMINUM: SEE SECTION 0505.11
 ROOF: CATEGORY II, WIND = 140 MPH
 ROOF CATEGORY: II, WIND = 140 MPH

LDG
 Larson Design Group
 1000 COMMERCE PARK DRIVE
 SUITE 201
 WILLIAMSVILLE, NY 14170
 (877) 328-9993

MARK	DATE	COMMENTS
1	02/06/2025	TOWN COALITION RESUBMISSION
0	10/29/2025	PERMIT SUBMISSION

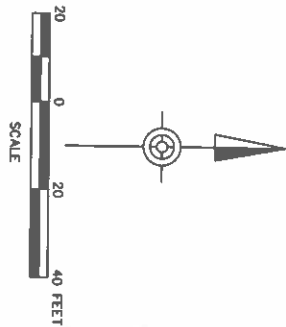
PTV 1454, LLC
 400 PENN CENTER BLV. BUILDING 4 SUITE 1000
 PITTSBURGH, PA

DOLLAR GENERAL - ELMIRA, NY
 TOWN OF SOUTHPORT
 CHEMUNG COUNTY

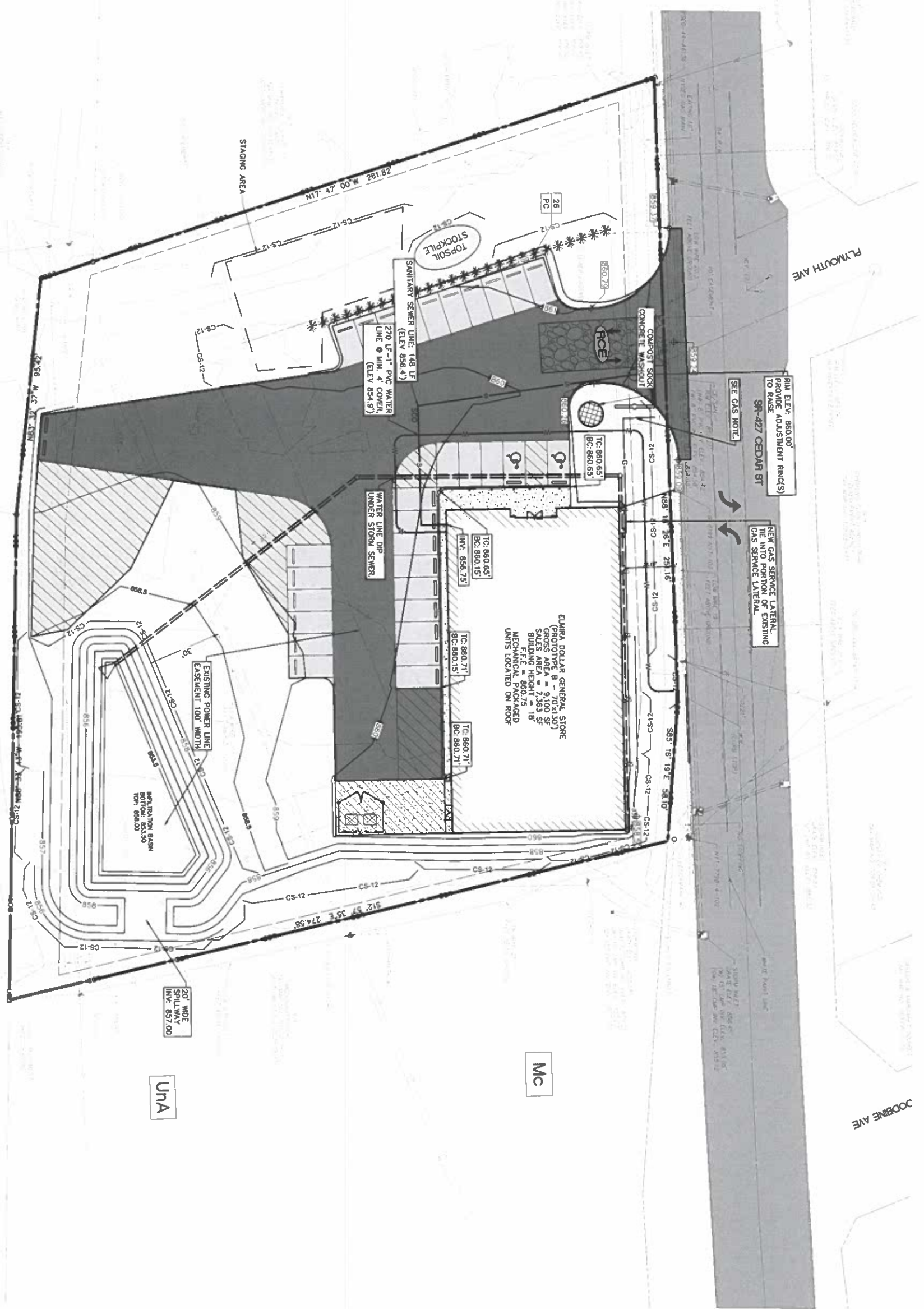
SITE DETAILS

SITE PLAN

Date: 01/06/2026
 Project No.: 11693-071
 Sheet No.: C-302



- LEGEND**
- PROPOSED
- CS-12
 - L-00
- FEATURES TEXT
- 12" COMPOST FILTER SOCK
 - LIMIT OF DISTURBANCE
 - SOILS BOUNDARY
 - SOIL TYPE
 - ROCK CONSTRUCTION ENTRANCE
- MC
- RCE



RUL ELEV. 860.00'
PROVIDE ADJUSTMENT RINGS)
TO RAISE
SR-427 CEDAR ST

SEE GAS NOTE

NEW GAS SERVICE LATERAL
NEW INTO PORTION OF EXISTING
GAS SERVICE LATERAL

ELMIRA DOLLAR GENERAL STORE
(PROTOTYPE B - 100 SQ FT
SALES AREA - 7,393 SF
BUILDING HEIGHT - 18'
F.F.E. - 860.75
MECHANICAL PACKAGED
UNITS LOCATED ON ROOF)

20' WIDE
SPILLWAY
INV. 857.00

Una

MC

<p>DOLLAR GENERAL - ELMIRA, NY TOWN OF SOUTHPORT CHEMUNG COUNTY</p>	<p>PTV 1454, LLC 400 PENN CENTER BLV. BUILDING 4 SUITE 1000 PITTSBURGH, PA</p>	<p>EROSION AND SEDIMENT CONTROL PLAN</p>	<p>SITE PLAN</p>	<p>1 02/06/2026 TOWN/COALITION RESUBMISSION</p> <p>0 10/29/2025 PERMIT SUBMISSION</p>	<p>MARK DATE COMMENTS</p>	<p>58</p> <p>Larson Design Group 1000 COMMERCE PARK DRIVE SUITE 201 WILLIAMSPORT, PA 17701 (877) 223-6600</p>

